

VICINITY MAP  
SCALE 1 IN. = 500 FT.

LEGEND

---	EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR
---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
---	EXISTING WATERLINE	---	PROPOSED WATER SERVICE
---	EXISTING WATER VALVE	---	PROPOSED WATER VALVE
---	EXISTING FIRE HYDRANT	---	PROPOSED FIRE HYDRANT
---	EXISTING GAS LINE	---	PROPOSED GAS SERVICE
---	EXISTING GAS VALVE	---	PROPOSED GAS VALVE
---	EXISTING CATCH BASIN	---	PROPOSED CATCH BASIN
---	EXISTING STORM DRAIN LINE	---	PROPOSED STORM DRAIN LINE
---	EXISTING SEWER MANHOLE	---	PROPOSED SEWER CLEANOUT
---	EXISTING SEWER LINE	---	PROPOSED SEWER HOUSE CONNECTION
---	EXISTING SPOT ELEVATION	---	PROPOSED SPOT ELEVATION
---	EXISTING STONEWALL		
---	EXISTING UTILITY POLE		

GENERAL NOTES:

1. WATER SUPPLY: VILLAGE OF CHESTER
2. SEWER DISTRICT: ORANGE COUNTY
3. DATUM: U.S.G.S.
4. ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN TWO-INCH DIAMETER.
5. NO SIGN(S) OTHER THAN THOSE SHOWN ON THIS PLAN ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PLANNING BOARD (TENANTS ARE TO BE ADVISED OF THIS CONDITION).
6. AFTER FINAL APPROVAL THE TAX LOTS WILL BE MERGED.
7. THE APPLICANT/OWNER HAS PREPARED A PLAN FOR A TEMPORARY SUBSURFACE SEPTIC SYSTEM UNTIL THE ORANGE COUNTY SEWER IS AVAILABLE. THE SYSTEM WILL BE FOR WAREHOUSE ONLY ANY OTHER USE REQUIRES ORANGE COUNTY SEWER HOOK UP AND FOR VILLAGE OF CHESTER PLANNING BOARD REVIEW.
8. THE APPLICANT/OWNER WILL COMPLY WITH THE VILLAGE OF CHESTER CODE SECTION 98-16 THAT PROVIDES STANDARDS OF USE FOR INDUSTRIAL WASTE, FILE AND EXPLOSIVE HAZARDS, RADIOACTIVITY AND ELECTROMAGNETIC DISTURBANCE, GLARE AND HEAT PROTOCOL.

OWNER:

TRODALE DEVELOPERS LLC  
ONE EXECUTIVE BLVD.  
SUITE 101  
SUFFERN, NEW YORK 10901

REFERENCE:

DEPICTED AS LOT 2 ON FILE MAP ENTITLED  
"FRANK J. MURRAY CO., LLC" AS MAP NUMBER  
938-05 SHEET 1 FILED ON 12/7/2005.

TAX DESIGNATION:

VILLAGE OF CHESTER TAX MAP  
SECTION 116 BLOCK 1 LOT 1.2 AND 2

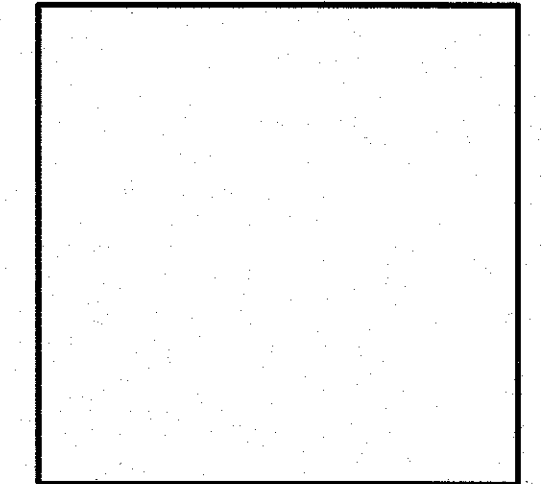
AREA:

TAX LOT 116-1-1.2 AREA = 39.335 ACRES.  
TAX LOT 116-1-2 AREA = 0.635 ACRES.  
TOTAL = 39.970 ACRES.

SITE ADDRESS:

SUMMERVILLE WAY  
CHESTER, NEW YORK

PLANNING BOARD APPROVAL



DRAWING No.

SHEET NUMBER DRAWING TITLE

1.	SITE PLAN
2.	EXISTING CONDITION PLAN
3.	WETLANDS MAP
4.	OVERALL GRADING PLAN
5.	GRADING PLAN (NORTH END)
6.	GRADING PLAN (MIDDLE)
7.	GRADING PLAN (SOUTH END)
8.	DRAINAGE DETAILS
9.	UTILITY DETAILS
10.	PAVEMENT, CURB AND SIDEWALK DETAILS
11.	LIGHTING PLAN
12.	EMERGENCY ACCESS PLAN
L701	LANDSCAPING PLAN (ACCESS DRIVE)
L70	LANDSCAPING PLAN (MAIN SITE)
1.	COLLIERS CONCEPT PLAN (ROUTE 94)
1.	COLLIERS TURNING TRACK PLAN

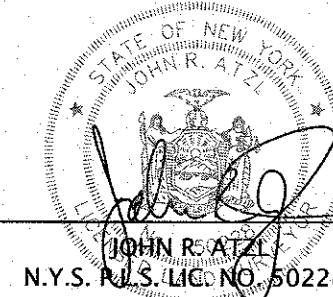
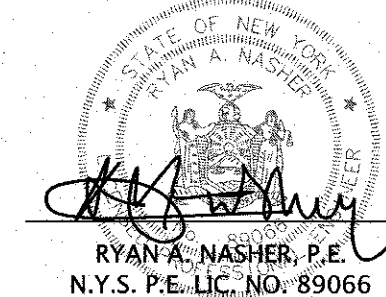
PARKING CALCULATIONS TABLE:

SURFACE PARKING SPACES:	
781,130 SQ.FT./255 PARKING SPACES	= 1 PARKING SPACE/3,075 SQ.FT.
TRUCK DOCKS:	
781,130 SQ.FT. 62 TRUCK DOCKS	= 1 PARKING SPACES/12,600 SQ.FT.
OR	
WORK SHIFT:	
DAY	100
EVENING	50
TOTAL (EMPLOYEES)	150
2 PARKING SPACES/3 EMPLOYEES	100
OFFICE 4,500 SQ.FT.:	
1 PARKING SPACE/200 SQ.FT.	23
TOTAL REQUIRED	123
TOTAL PROVIDED	157
RESERVE ADDITIONAL	91

BULK REQUIREMENTS:

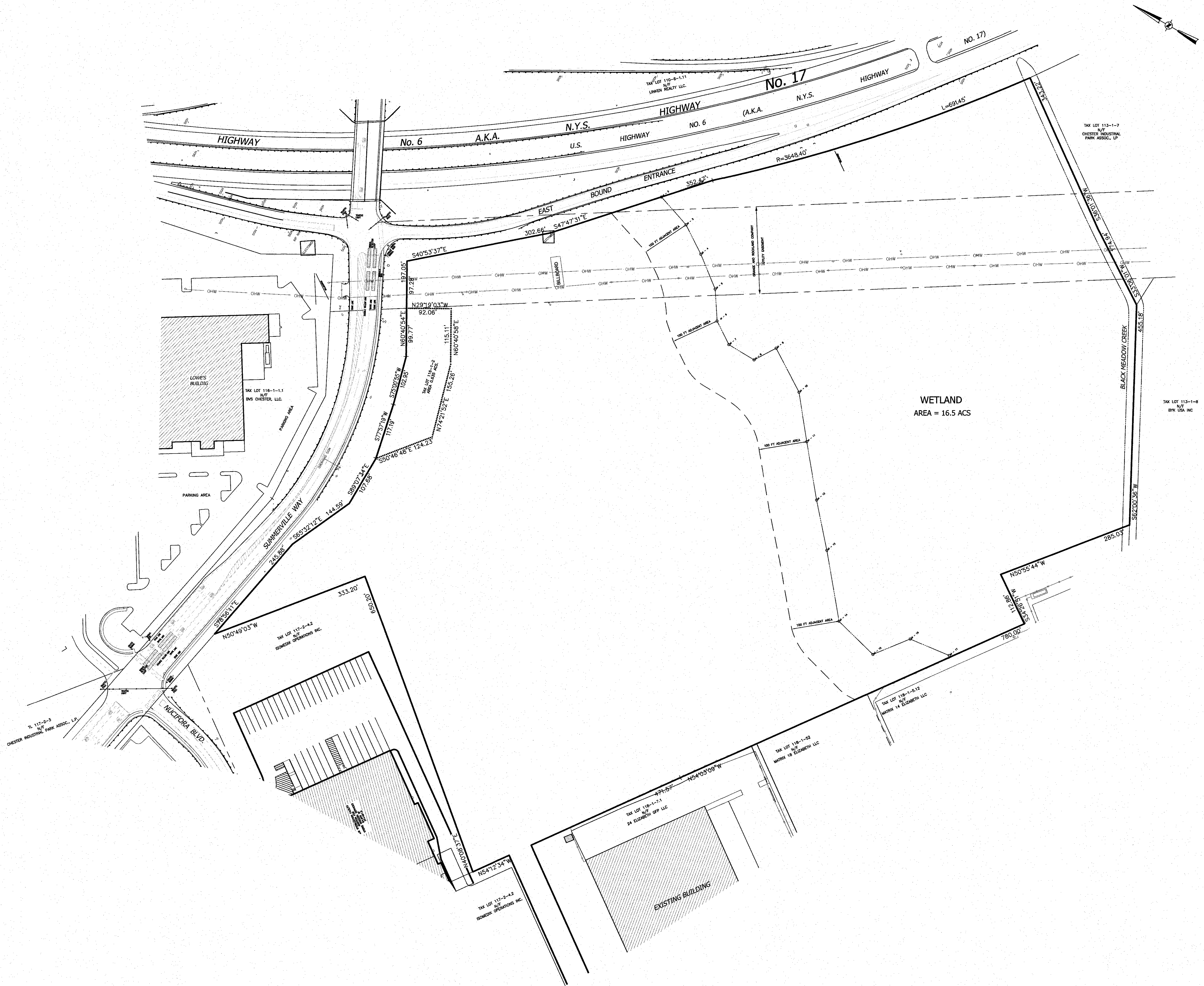
ZONE-M1	REQUIRED	EXISTING
MINIMUM LOT AREA	3 ACRES	39.97 ACRES
MINIMUM LOT WIDTH	200 FT.	2,260+ FT.
MINIMUM FRONT YARD	60 FT.	124 FT.
MINIMUM SIDE YARD	50 FT.	60 FT.
MINIMUM TOTAL SIDE YARD	100 FT.	230 FT.
MINIMUM REAR YARD	50 FT.	579 FT.
MAXIMUM BUILDING HEIGHT	40 FT.	53 FT. *
MAXIMUM BUILDING STORIES	2 STORIES	2 STORY
MAXIMUM DEVELOPMENT COVERAGE	50%	41%

\* VARIANCE REQUIRED



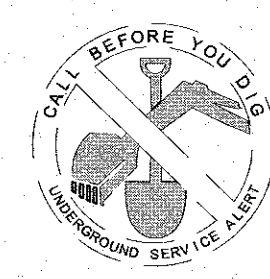
1	04-11-23	LANC & TULLY MEMO 3-24-23
REVISION	DATE	DESCRIPTION
ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.anzny.com		
PROJECT: SUMMERVILLE INDUSTRIAL PARK		
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK		
TITLE: SITE PLAN		
DRAWN BY: VC	CHECKED BY: DMZ	
DATE: AUGUST 05, 2022	SCALE: 1 IN. = 100 FT.	
PROJECT NO: 3390	DRAWING NO: 1	



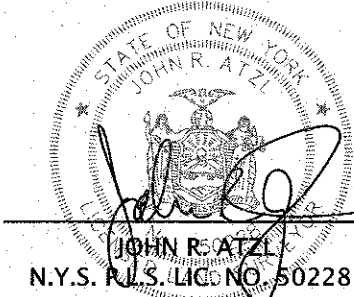
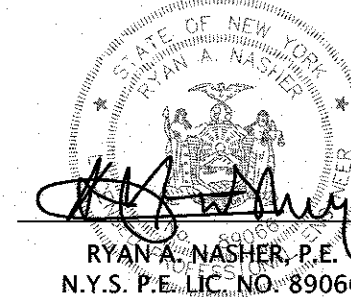


# LEGEND

---	EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR
---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
W	EXISTING WATERLINE	W	PROPOSED WATER SERVICE
W	EXISTING WATER VALVE	W	PROPOSED WATER VALVE
W	EXISTING FIRE HYDRANT	W	PROPOSED FIRE HYDRANT
G	EXISTING GAS LINE	G	PROPOSED GAS SERVICE
G	EXISTING GAS VALVE	G	PROPOSED GAS VALVE
CB	EXISTING CATCH BASIN	CB	PROPOSED CATCH BASIN
SD	EXISTING STORM DRAIN LINE	SD	PROPOSED STORM DRAIN LINE
SMH	EXISTING SEWER MANHOLE	CO	PROPOSED SEWER CLEANOUT
S	EXISTING SEWER LINE	---	PROPOSED SEWER HOUSE CONNECTION
360.0	EXISTING SPOT ELEVATION	360.0	PROPOSED SPOT ELEVATION
---	EXISTING STONEWALL		
UP	EXISTING UTILITY POLE		



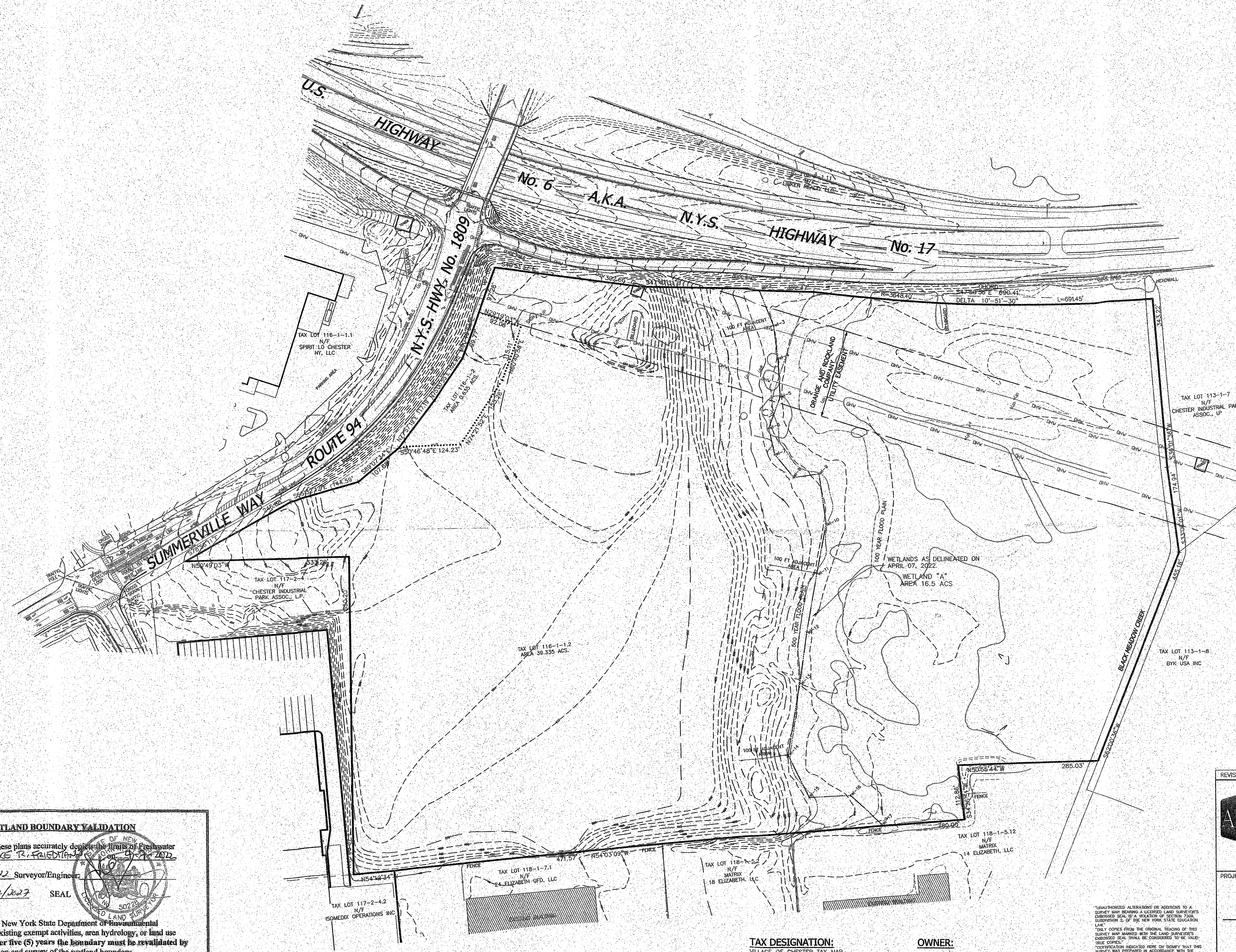
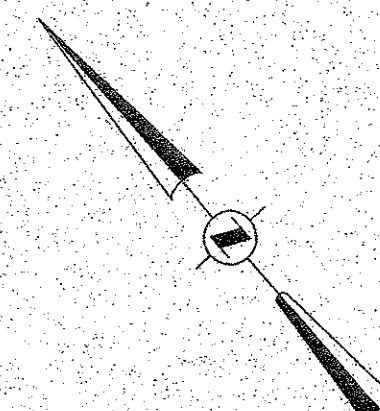
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"CERTIFICATION INDICATED HEREIN ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE SURVEYING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE REGULATEE. INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED, CONTRIBUTING, ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSOCIATES OR SUBSEQUENT OWNERS."

1	04-11-23	LANC & TULLY MEMO 3-24-23
REVISION	DATE	DESCRIPTION
<b>ATZL, NASHER &amp; ZIGLER P.C.</b> ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10958 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.anzny.com		
PROJECT: <b>SUMMERVILLE INDUSTRIAL PARK</b>		
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK		
TITLE: <b>EXISTING CONDITION PLAN</b>		
DRAWN BY: YC	CHECKED BY: DMZ	
DATE: AUGUST 05, 2022	SCALE: 1 IN. = 100 FT.	
PROJECT NO: 3390	DRAWING NO: 2	





**NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION**

The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland **NR-6** as delineated by **ATZL, NASHER & ZIGLER P.C.** on **04-27-2022**.

DEC Staff: *Michael Tracy* 12/22/22 Surveyor/Engineer

Date Valid: *12/22/22* Expiration Date: *12/22/2027* SEAL

Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). After five (5) years the boundary must be revalidated by DEC staff. Revalidation may include a new delineation and survey of the wetland boundary.

Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

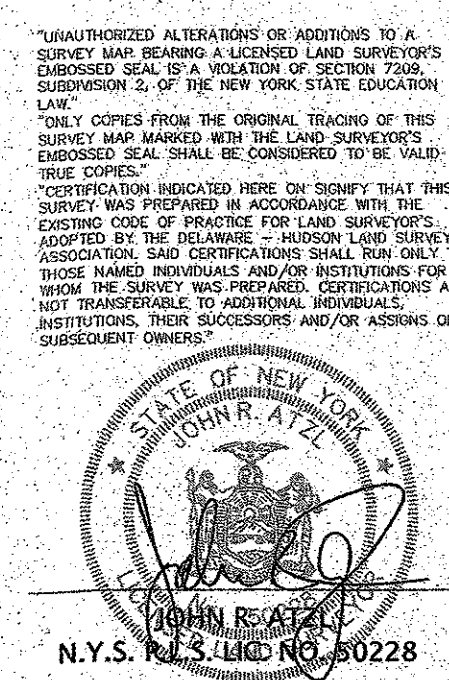
**TAX DESIGNATION:**  
VILLAGE OF CHESTER TAX MAP  
SECTION 116 BLOCK 1 LOT 2


**REFERENCE:**  
DEPICTED AS LOT 2 ON FILE MAP ENTITLED  
"FRANK J. MURRAY CO., LLC" AS MAP NUMBER  
938-05 SHEET 1 FILED ON 12/7/2005.

**SITE ADDRESS:**  
3921 & 3923 SUMMERVILLE WAY  
CHESTER, NEW YORK 10618

**AREA:**  
TAX LOT 116-1-1.2 AREA = 39.235 ACRES.  
TAX LOT 116-1-2 AREA = 0.635 ACRES.  
TOTAL = 39.870 ACRES.

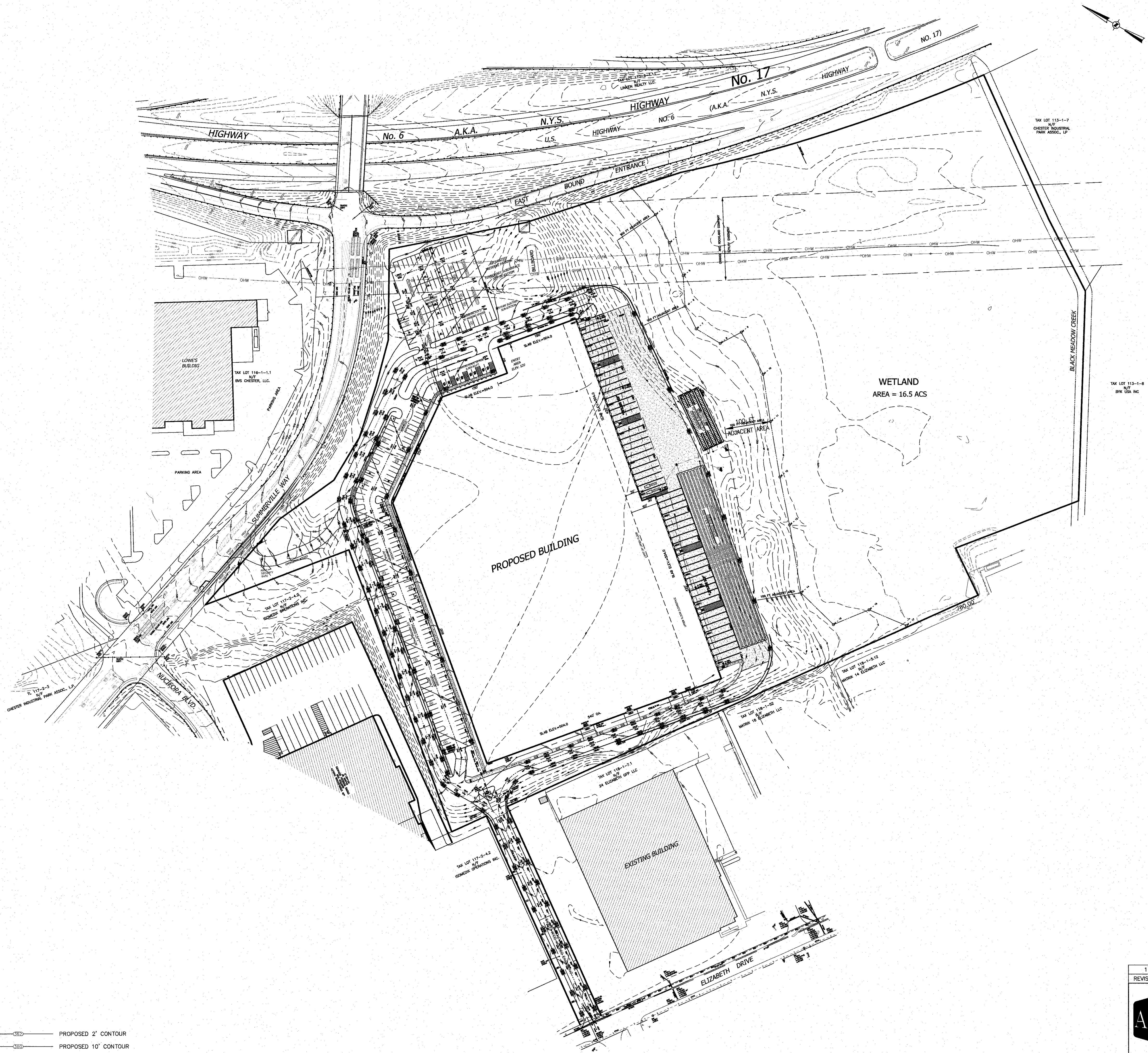
**OWNER:**  
TRODALE DEVELOPERS LLC  
ONE EXECUTIVE BLVD.  
SUITE 101  
SUFFERN, NEW YORK 10901



REVISION	DATE	DESCRIPTION
 <b>ATZL, NASHER &amp; ZIGLER P.C.</b> ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4664 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT: <b>TRODALE DEVELOPERS LLC</b>		
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK		
TITLE: <b>NYSDEC WETLAND BOUNDARY</b>		
DRAWN BY: VC	CHECKED BY: DMZ	
DATE: DECEMBER 10, 2022	SCALE: 1" = 100 FT.	
PROJECT NO:	DRAWING NO:	
3390	3	

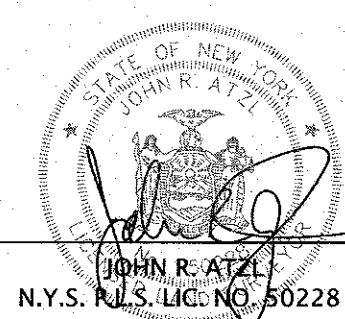
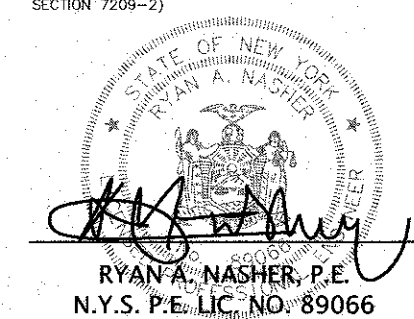
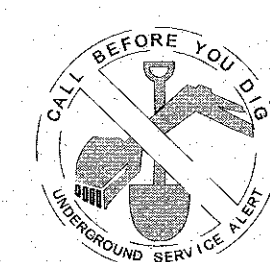
RECEIVED  
DEC 19 2022  
Natural Resources  
NYSDEC Region 3 - New Paltz





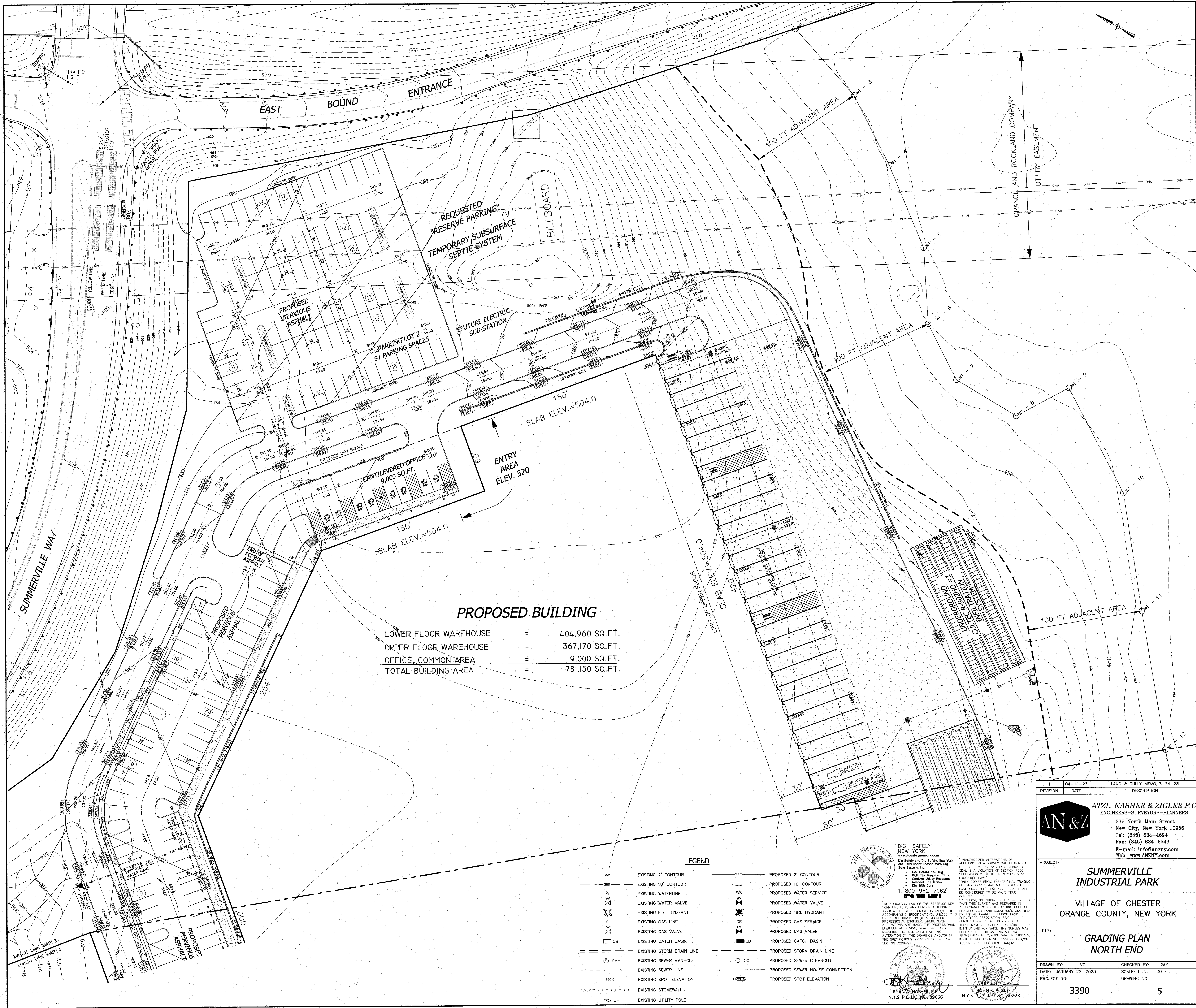
LEGEND

--- 362 ---	EXISTING 2' CONTOUR	--- 362 ---	PROPOSED 2' CONTOUR
--- 360 ---	EXISTING 10' CONTOUR	--- 360 ---	PROPOSED 10' CONTOUR
W	EXISTING WATERLINE	WS	PROPOSED WATER SERVICE
W	EXISTING WATER VALVE	WV	PROPOSED WATER VALVE
FD	EXISTING FIRE HYDRANT	FD	PROPOSED FIRE HYDRANT
G	EXISTING GAS LINE	GS	PROPOSED GAS SERVICE
G	EXISTING GAS VALVE	GV	PROPOSED GAS VALVE
CB	EXISTING CATCH BASIN	CB	PROPOSED CATCH BASIN
SD	EXISTING STORM DRAIN LINE	SD	PROPOSED STORM DRAIN LINE
SMH	EXISTING SEWER MANHOLE	CO	PROPOSED SEWER CLEANOUT
S	EXISTING SEWER LINE	SC	PROPOSED SEWER HOUSE CONNECTION
360.0	EXISTING SPOT ELEVATION	360.0	PROPOSED SPOT ELEVATION
--- 360 ---	EXISTING STONEWALL		
UP	EXISTING UTILITY POLE		



1	04-11-23	LANC & TULLY MEMO 3-24-23
REVISION	DATE	DESCRIPTION
 <b>ATZL, NASHER &amp; ZIGLER P.C.</b> ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.anzny.com		
PROJECT: <b>SUMMERVILLE INDUSTRIAL PARK</b>		
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK		
TITLE: <b>OVERALL GRADING PLAN</b>		
DRAWN BY: VC	CHECKED BY: DMZ	
DATE: AUGUST 05, 2022	SCALE: 1 IN. = 100 FT.	
PROJECT NO:	DRAWING NO:	
3390	4	

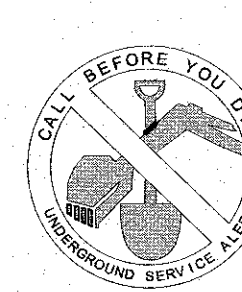




PROPOSED BUILDING			
LOWER FLOOR WAREHOUSE	=	404,960	SQ.FT.
UPPER FLOOR WAREHOUSE	=	367,170	SQ.FT.
OFFICE, COMMON AREA	=	9,000	SQ.FT.
TOTAL BUILDING AREA	=	781,130	SQ.FT.

LEGEND

- |             |                           |             |                                 |
|-------------|---------------------------|-------------|---------------------------------|
| --- 2' ---  | EXISTING 2' CONTOUR       | --- 2' ---  | PROPOSED 2' CONTOUR             |
| --- 10' --- | EXISTING 10' CONTOUR      | --- 10' --- | PROPOSED 10' CONTOUR            |
| W           | EXISTING WATERLINE        | W           | PROPOSED WATER SERVICE          |
| W           | EXISTING WATER VALVE      | W           | PROPOSED WATER VALVE            |
| W           | EXISTING FIRE HYDRANT     | W           | PROPOSED FIRE HYDRANT           |
| G           | EXISTING GAS LINE         | G           | PROPOSED GAS SERVICE            |
| G           | EXISTING GAS VALVE        | G           | PROPOSED GAS VALVE              |
| CB          | EXISTING CATCH BASIN      | CB          | PROPOSED CATCH BASIN            |
| SD          | EXISTING STORM DRAIN LINE | SD          | PROPOSED STORM DRAIN LINE       |
| SMH         | EXISTING SEWER MANHOLE    | CO          | PROPOSED SEWER CLEANOUT         |
| S           | EXISTING SEWER LINE       | SC          | PROPOSED SEWER HOUSE CONNECTION |
| SP          | EXISTING SPOT ELEVATION   | SP          | PROPOSED SPOT ELEVATION         |
| STW         | EXISTING STONEWALL        |             |                                 |
| UP          | EXISTING UTILITY POLE     |             |                                 |



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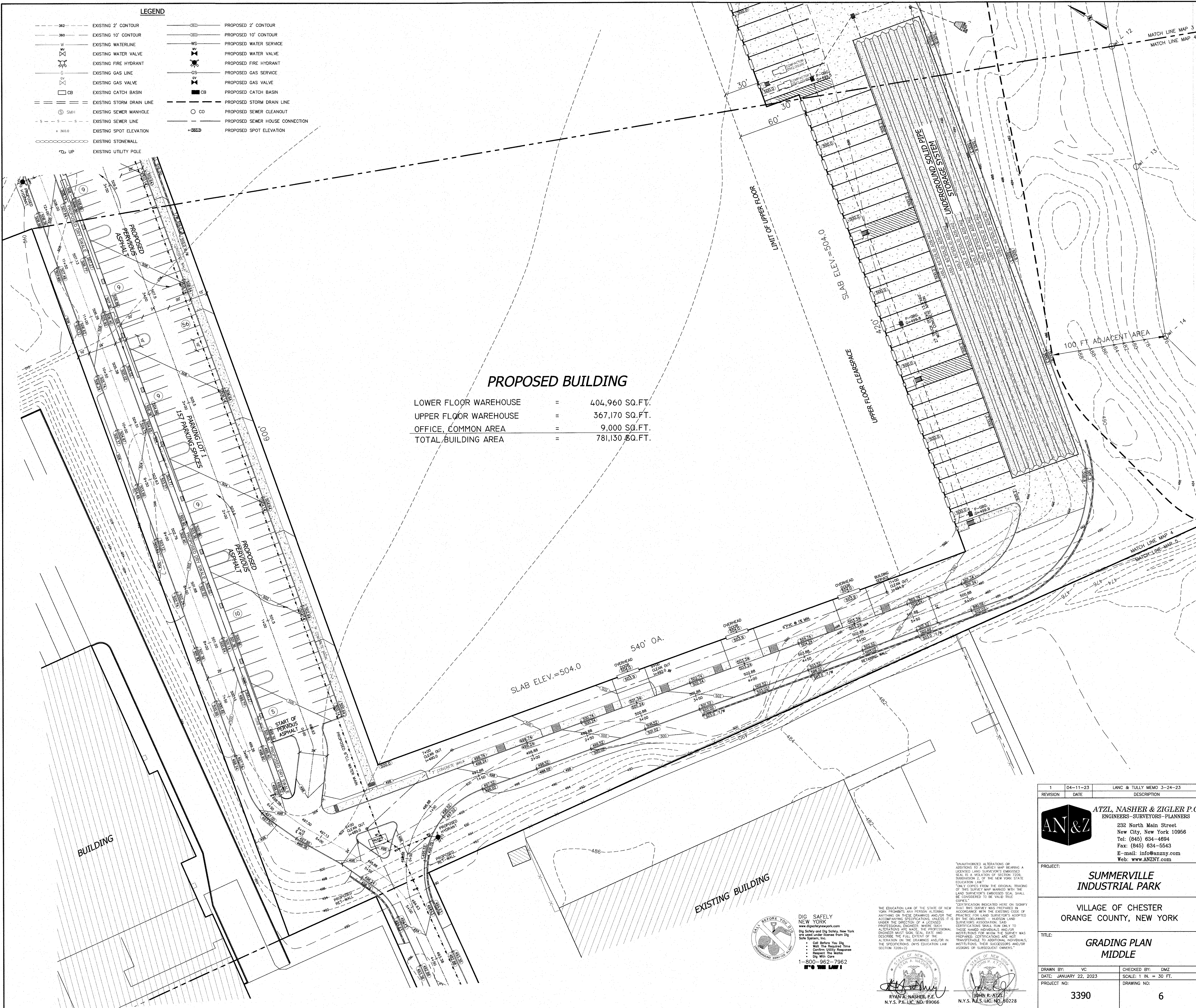
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ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID, TRUE COPIES.  
CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION, SAID INSTITUTION FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OF SUBSEQUENT OWNERS.


STATE OF NEW YORK  
JOHN R. ATZL  
N.Y.S. P.E. LIC. NO. 60228

1	04-11-23	LANC & TULLY MEMO 3-24-23
REVISION	DATE	DESCRIPTION
ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4894 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.anzny.com		
PROJECT: SUMMERVILLE INDUSTRIAL PARK		
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK		
TITLE: GRADING PLAN NORTH END		
DRAWN BY: VC	CHECKED BY: DMZ	
DATE: JANUARY 22, 2023	SCALE: 1 IN. = 30 FT.	
PROJECT NO: 3390	DRAWING NO: 5	





PROPOSED BUILDING			
LOWER FLOOR WAREHOUSE	=	404,960	SQ.FT.
UPPER FLOOR WAREHOUSE	=	367,170	SQ.FT.
OFFICE, COMMON AREA	=	9,000	SQ.FT.
TOTAL BUILDING AREA	=	781,130	SQ.FT.

1	04-11-23	LANC & TULLY MEMO 3-24-23
REVISION	DATE	DESCRIPTION
 <b>ATZL, NASHER &amp; ZIGLER P.C.</b> ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4894 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.anzny.com		
PROJECT: <b>SUMMERVILLE INDUSTRIAL PARK</b>		
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK		
TITLE: <b>GRADING PLAN MIDDLE</b>		
DRAWN BY: VC	CHECKED BY: DMZ	
DATE: JANUARY 22, 2023	SCALE: 1 IN. = 30 FT.	
PROJECT NO: 3390	DRAWING NO: 6	



PROPOSED BUILDING

LOWER FLOOR WAREHOUSE	=	404,960 SQ.FT.
UPPER FLOOR WAREHOUSE	=	367,170 SQ.FT.
OFFICE, COMMON AREA	=	9,000 SQ.FT.
TOTAL BUILDING AREA	=	781,130 SQ.FT.

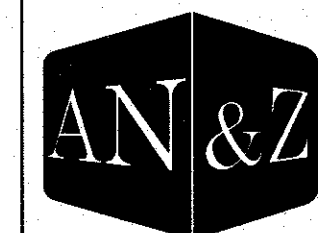
SLAB ELEV.=504.0  
540' O.A.

LEGEND

---	EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR
---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
W	EXISTING WATERLINE	WS	PROPOSED WATER SERVICE
WV	EXISTING WATER VALVE	WV	PROPOSED WATER VALVE
WV	EXISTING FIRE HYDRANT	WV	PROPOSED FIRE HYDRANT
G	EXISTING GAS LINE	GS	PROPOSED GAS SERVICE
GV	EXISTING GAS VALVE	GV	PROPOSED GAS VALVE
CB	EXISTING CATCH BASIN	CB	PROPOSED CATCH BASIN
SD	EXISTING STORM DRAIN LINE	SD	PROPOSED STORM DRAIN LINE
SMH	EXISTING SEWER MANHOLE	CO	PROPOSED SEWER CLEANOUT
S	EXISTING SEWER LINE	SC	PROPOSED SEWER HOUSE CONNECTION
S	EXISTING SPOT ELEVATION	S	PROPOSED SPOT ELEVATION
ST	EXISTING STONEWALL		
UP	EXISTING UTILITY POLE		



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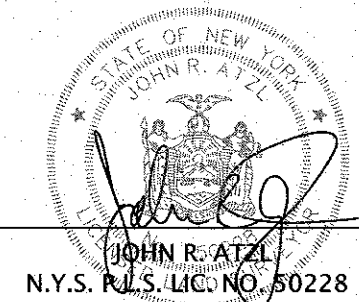
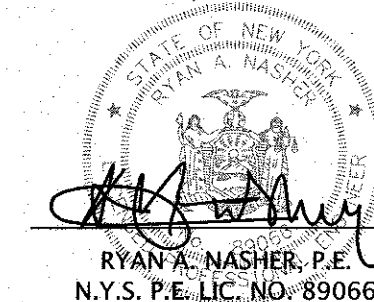
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Fax: (845) 634-5543  
E-mail: info@anzny.com  
Web: www.anzny.com

PROJECT: SUMMERVILLE INDUSTRIAL PARK

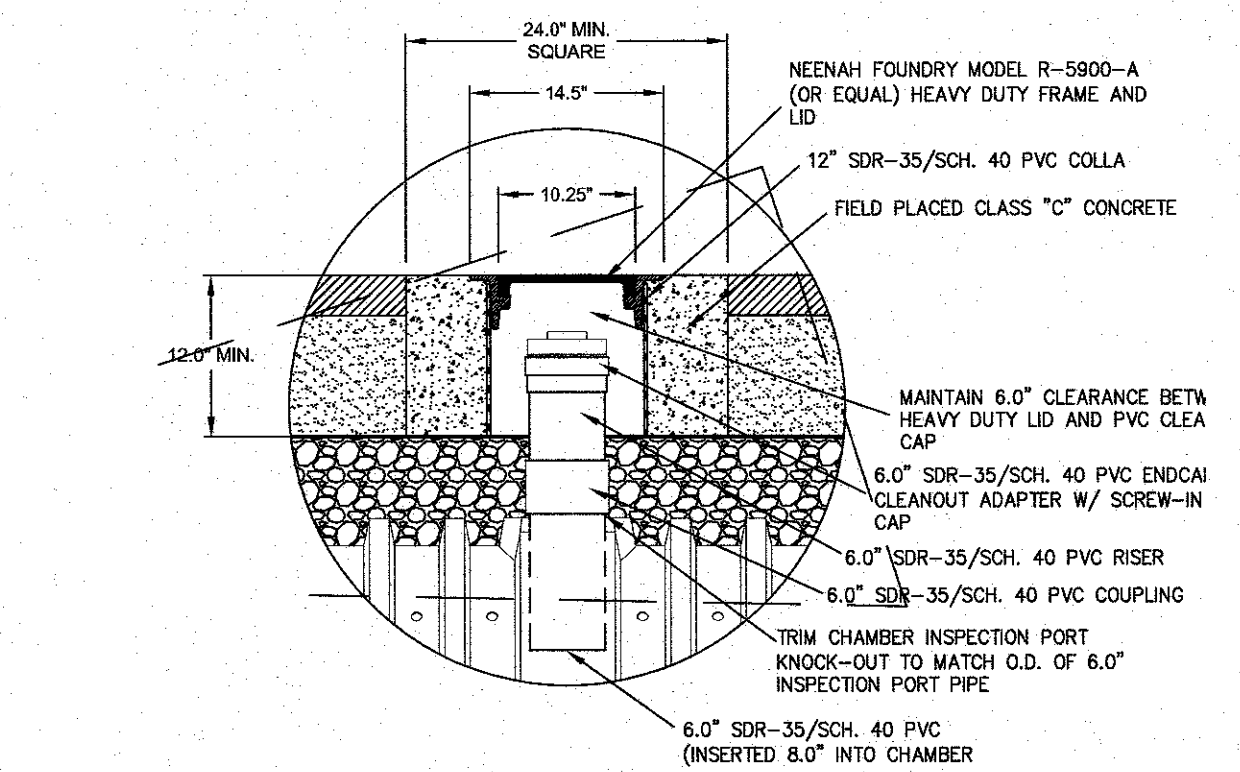
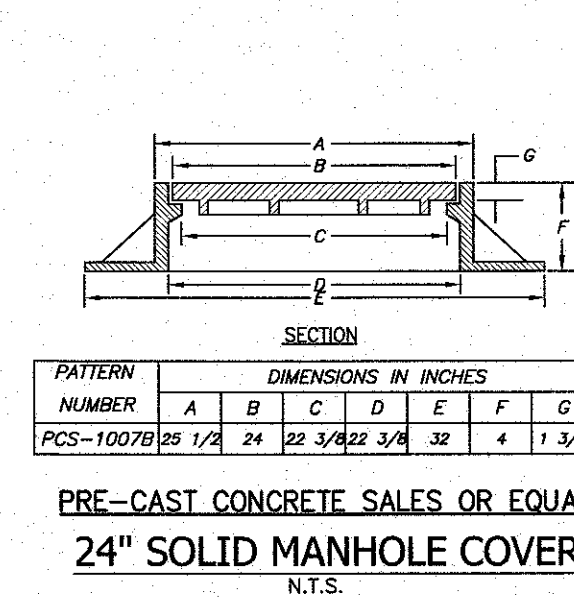
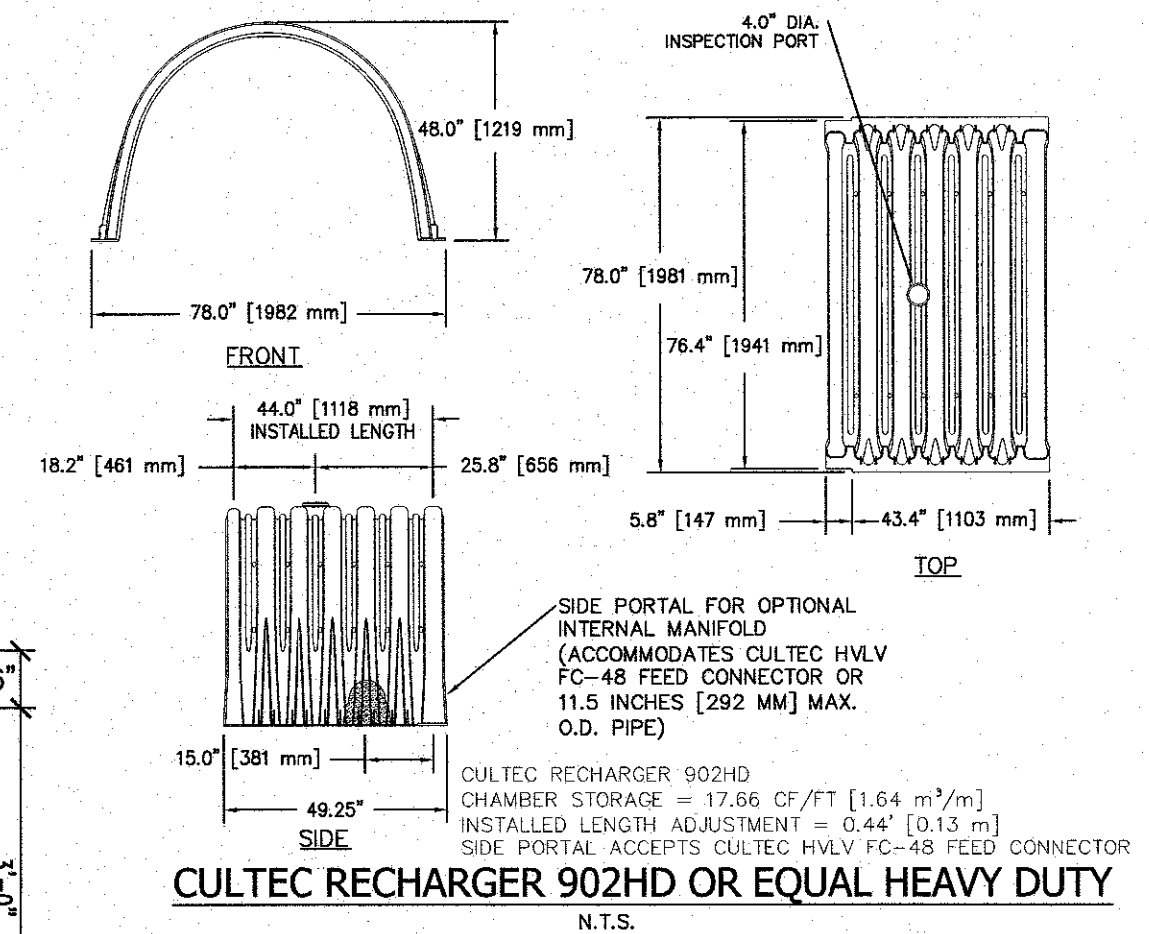
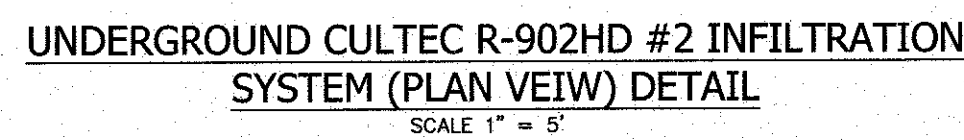
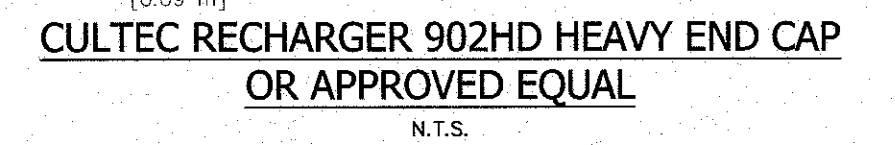
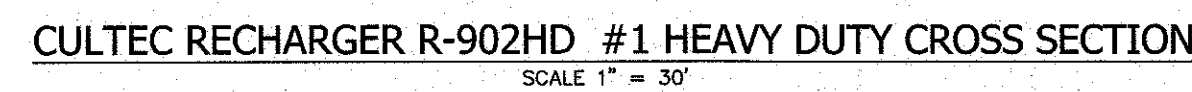
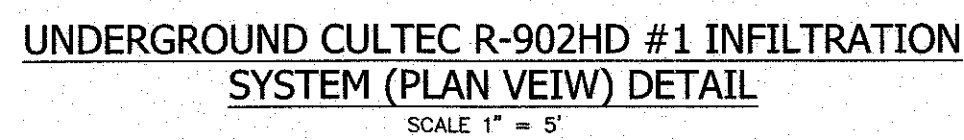
VILLAGE OF CHESTER  
ORANGE COUNTY, NEW YORK

GRADING PLAN  
SOUTH END

DRAWN BY: VC	CHECKED BY: DMZ
DATE: JANUARY 22, 2023	SCALE: 1 IN. = 30 FT.
PROJECT NO:	DRAWING NO:
3390	7








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STATE OF NEW YORK  
RYAN A. NASHNER  
  
RYAN A. NASHNER, P.E.  
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK  
JOHN R. ATZL

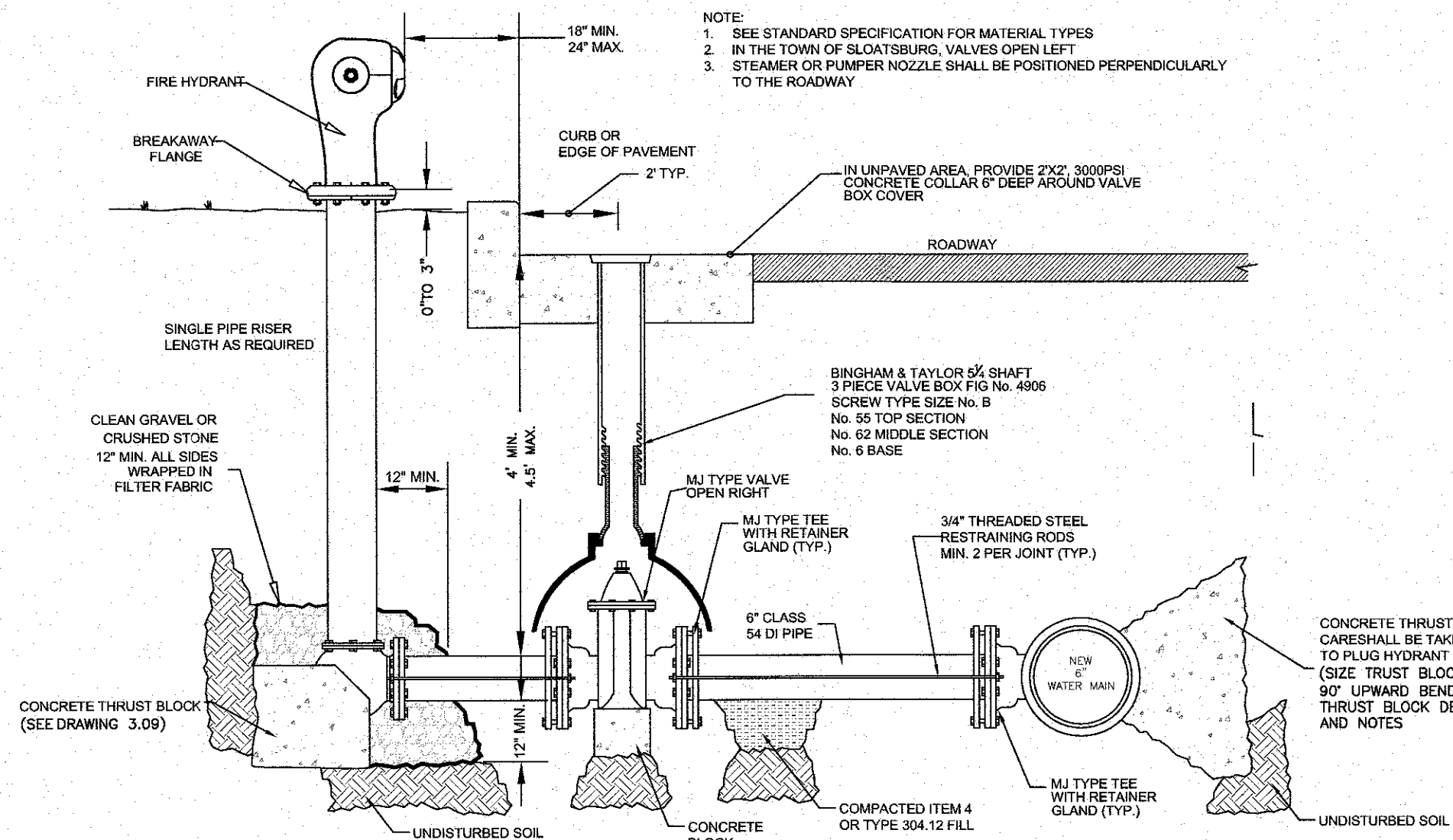
*[Signature]*

JOHN R. ATZL  
N.Y.S. J.U.S. LIC. NO. 50228

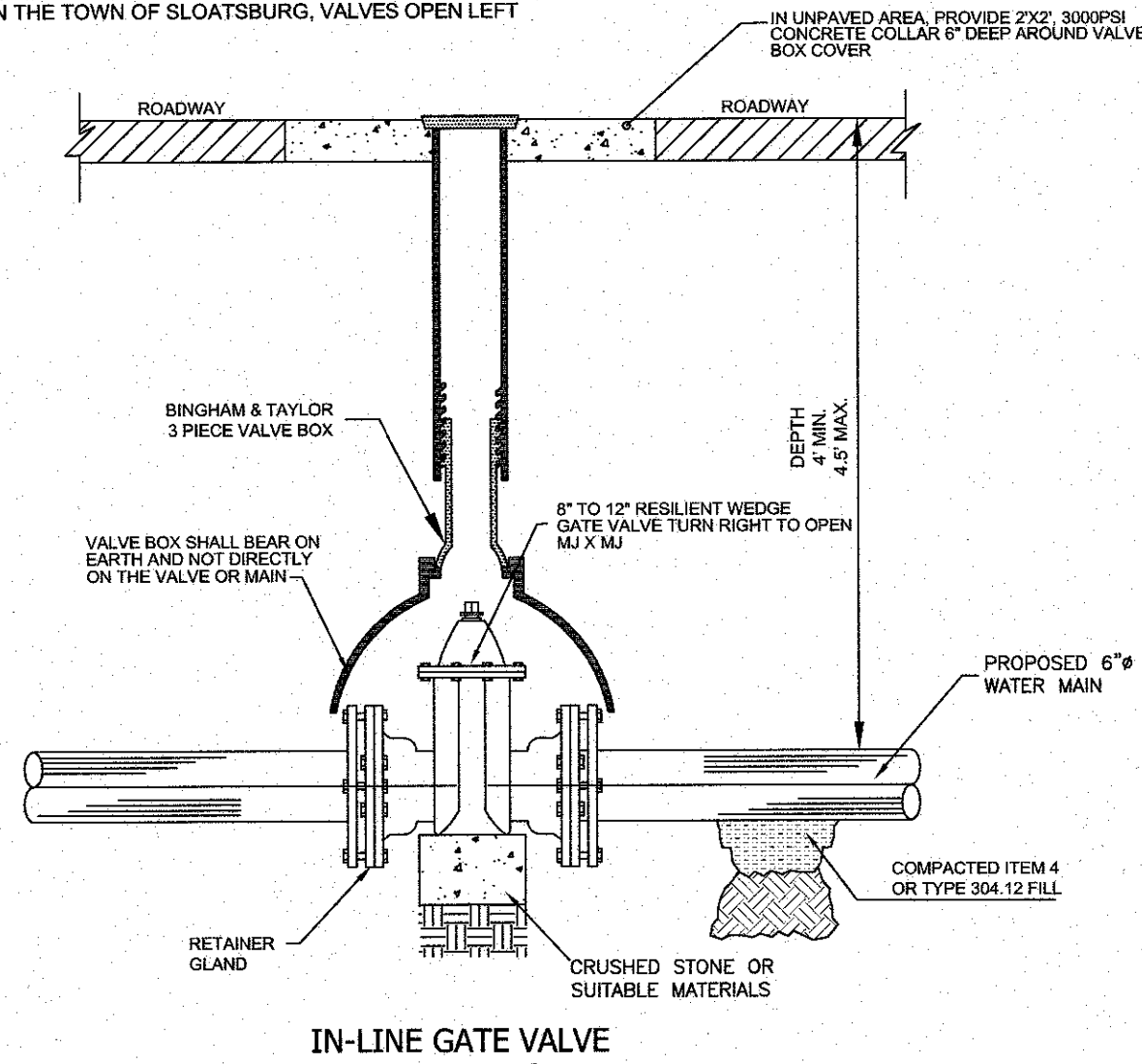
1	04-11-23	LANC & TULLY MEMO	3-24-23
REVISION	DATE	DESCRIPTION	
		<b>ATZL, NASHER &amp; ZIGLER P.C.</b> ENGINEERS - SURVEYORS - PLANNERS	
		232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-6543 E-mail: info@anzny.com Web: www.ANZNY.com	
PROJECT:			
<b>SUMMERVILLE INDUSTRIAL PARK</b>			
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK			
TITLE:			
<b>DRAINAGE DETAILS</b>			
DRAWN BY: VC		CHECKED BY: DMZ	
DATE: JANUARY 22, 2023		SCALE: N.T.S.	
PROJECT NO:		DRAWING NO:	
3390		8	



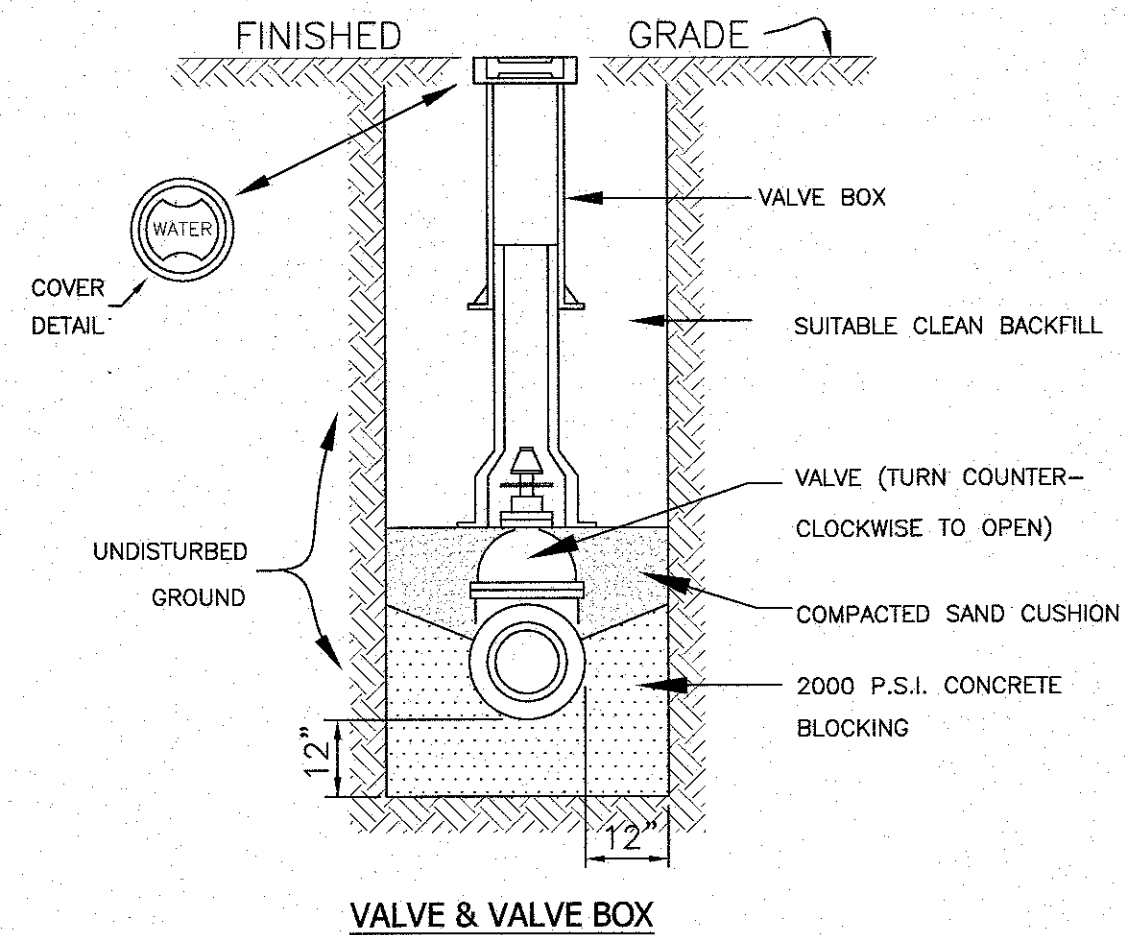
- NOTE:  
1. SEE STANDARD SPECIFICATION FOR MATERIAL TYPES  
2. IN THE TOWN OF SLOATSBURG, VALVES OPEN LEFT



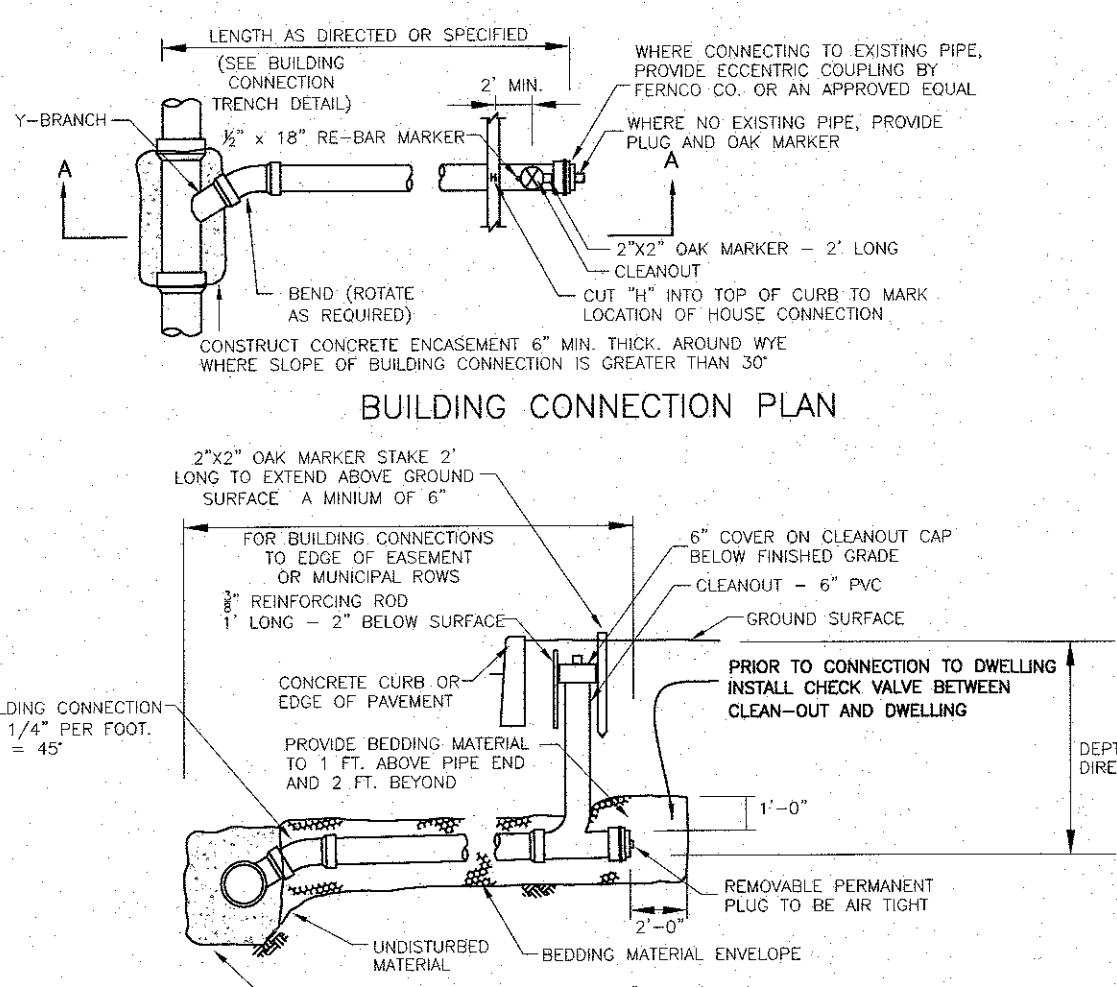
FIRE HYDRANT INSTALLATION DETAIL  
N.T.S.



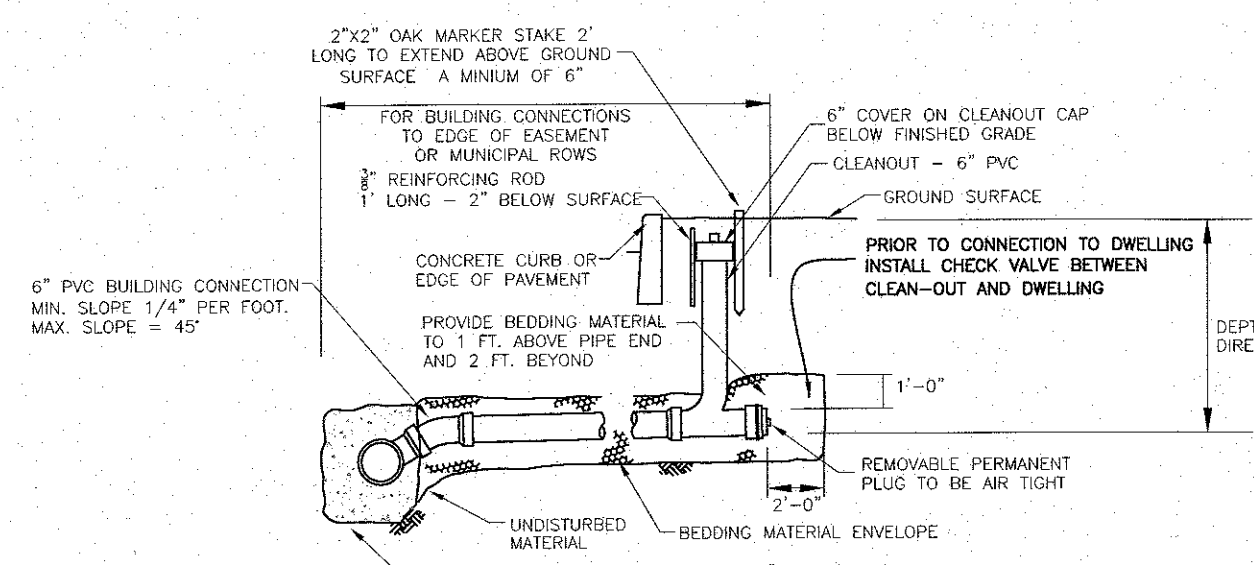
IN-LINE GATE VALVE  
INSTALLATION  
N.T.S.



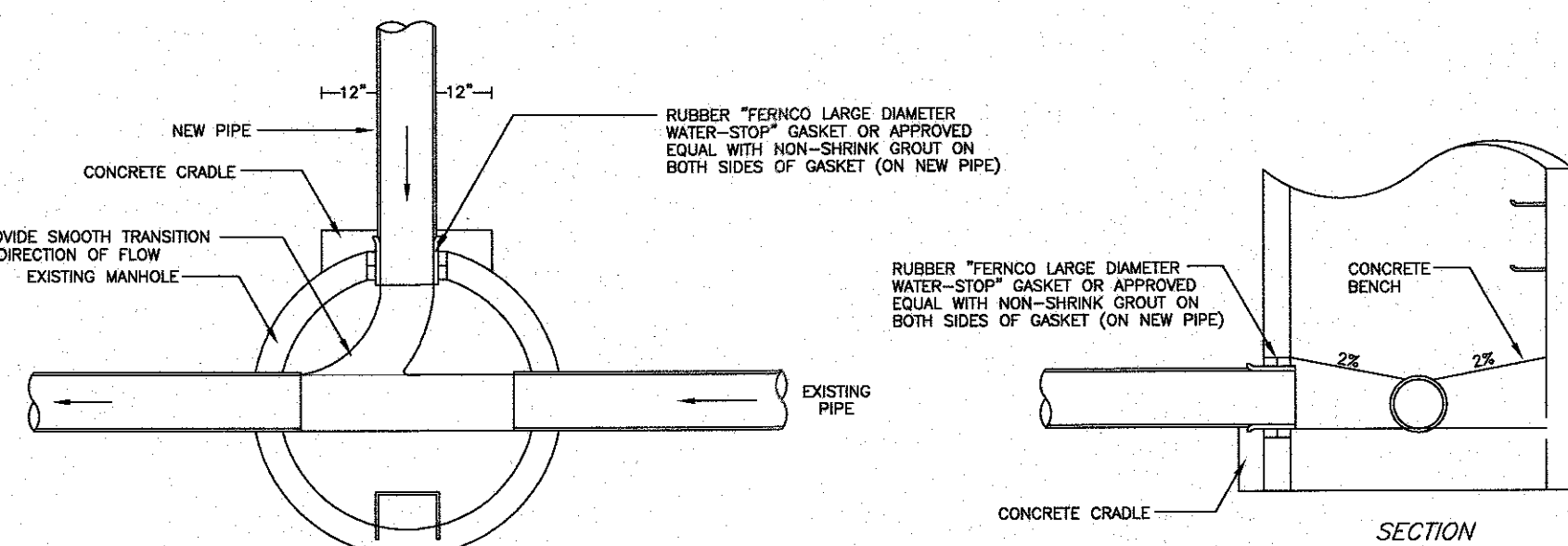
VALVE & VALVE BOX  
N.T.S.



BUILDING CONNECTION PLAN

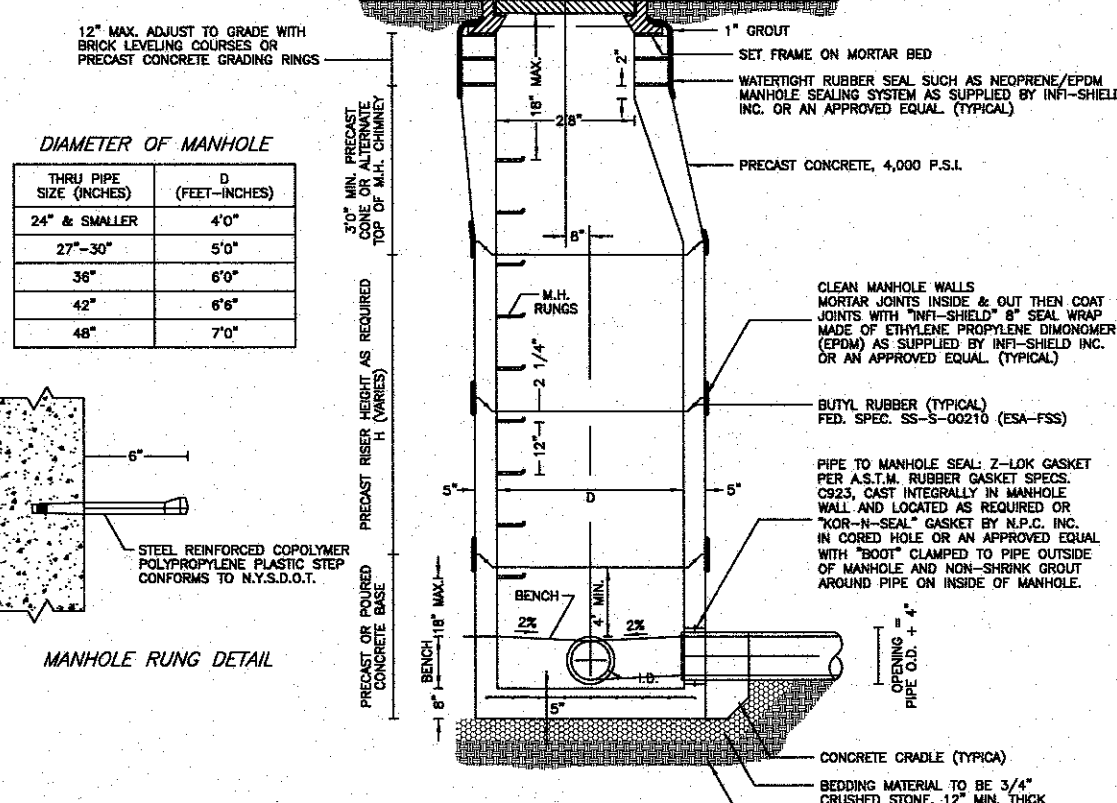


SECTION A-A  
BUILDING CONNECTION ELEVATION  
SANITARY SEWER BUILDING CONNECTION DETAIL  
N.T.S.

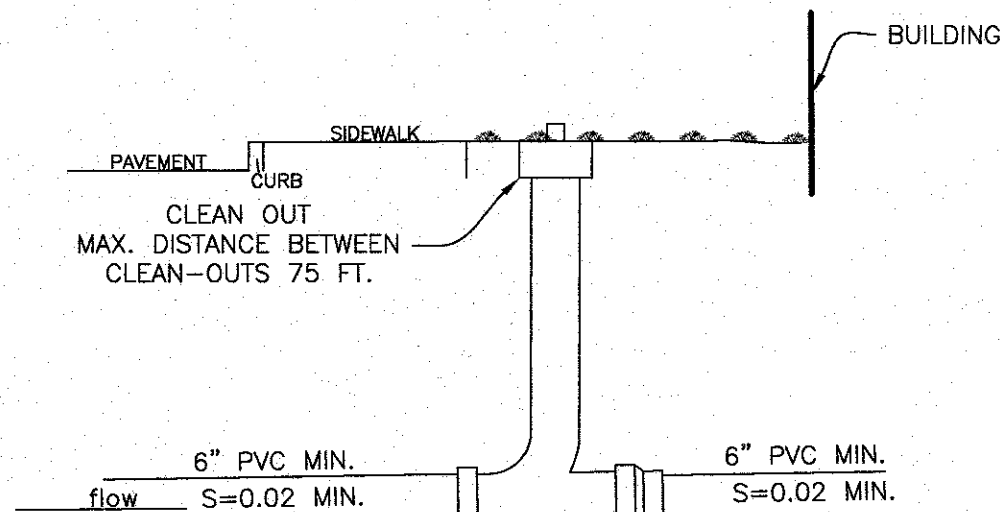


1. CLEAN AND ROUGHEN ALL SURFACES AGAINST WHICH NEW MORTAR IS TO BE PLACED.
2. EXISTING CONCRETE TO BE REMOVED TO MEET NEW CHANNEL. CONCRETE TO BE REMOVED TO A LINE AT LEAST 1 IN. BEYOND FINISHED CHANNEL LINE AND FINISHED OFF TO NEW LINE WITH CEMENT MORTAR.
3. WHERE PIPE IS ABANDONED, PLUG PIPE WITH 12 IN. MINIMUM CONCRETE AND BUILD UP CHANNEL TO ELEVATION OF EXISTING BENCH TO AVOID FLOW OF NEW MANHOLE CHANNEL.
4. THE PIPE PENETRATOR SHALL NOT BE THROUGH THE CONE SECTION OF A MANHOLE JOINT NOR SHALL IT INTERFERE WITH THE MANHOLE RUNGS.

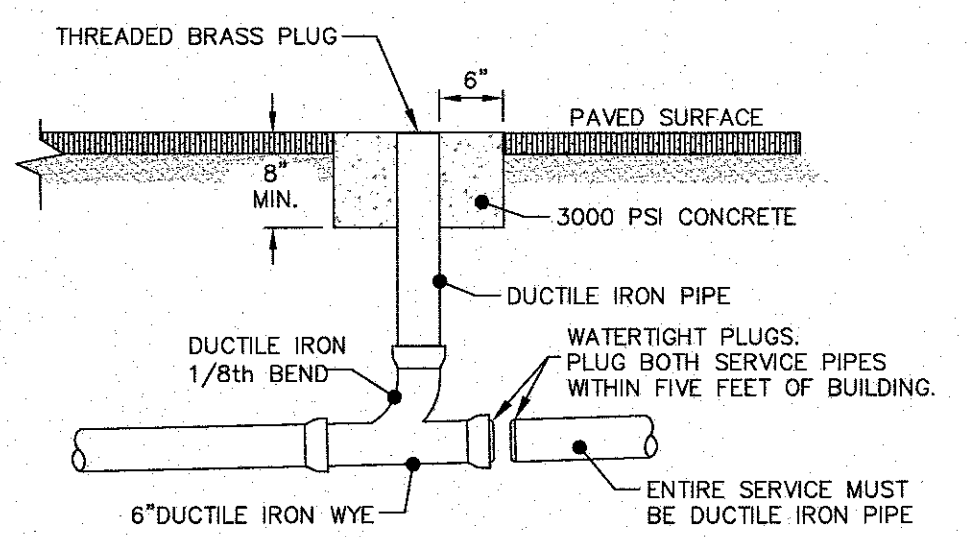
SEWER CONNECTION TO EXISTING MANHOLE  
N.T.S.



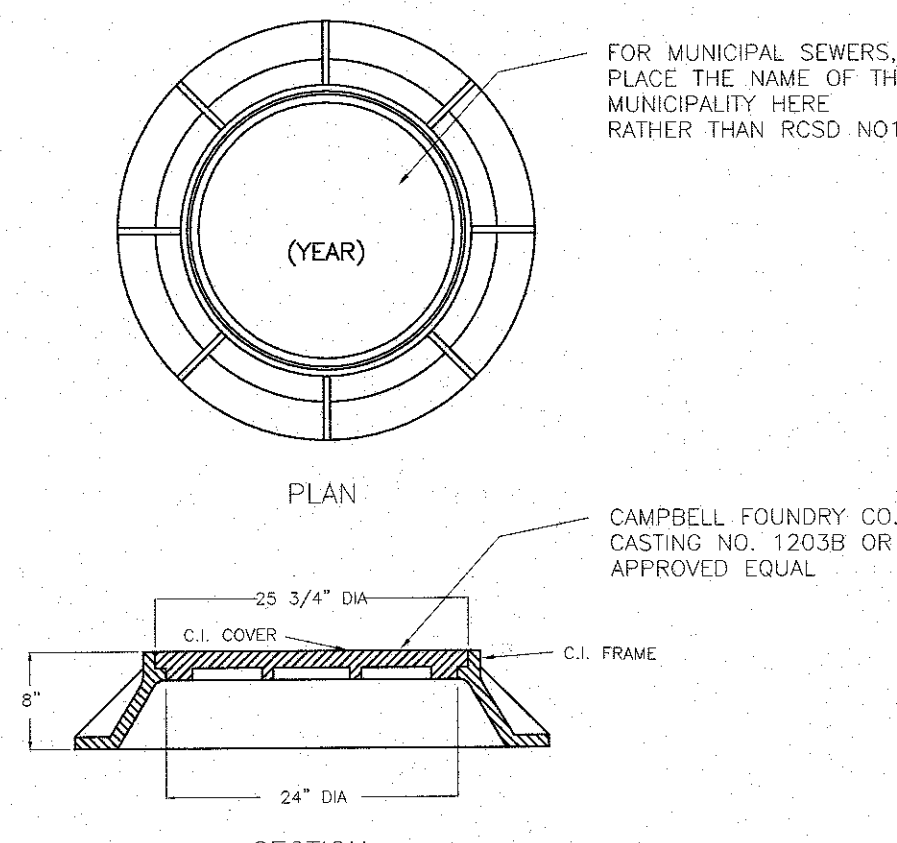
PRECAST STANDARD MANHOLE SECTION  
N.T.S.



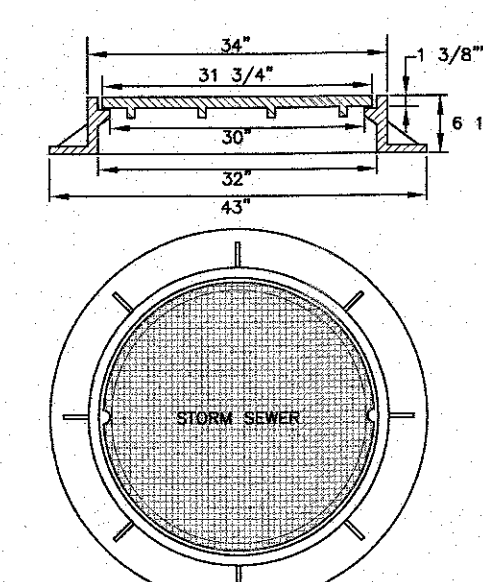
TYPICAL SEWER CONNECTION IN LAWN AREA DETAIL  
N.T.S.



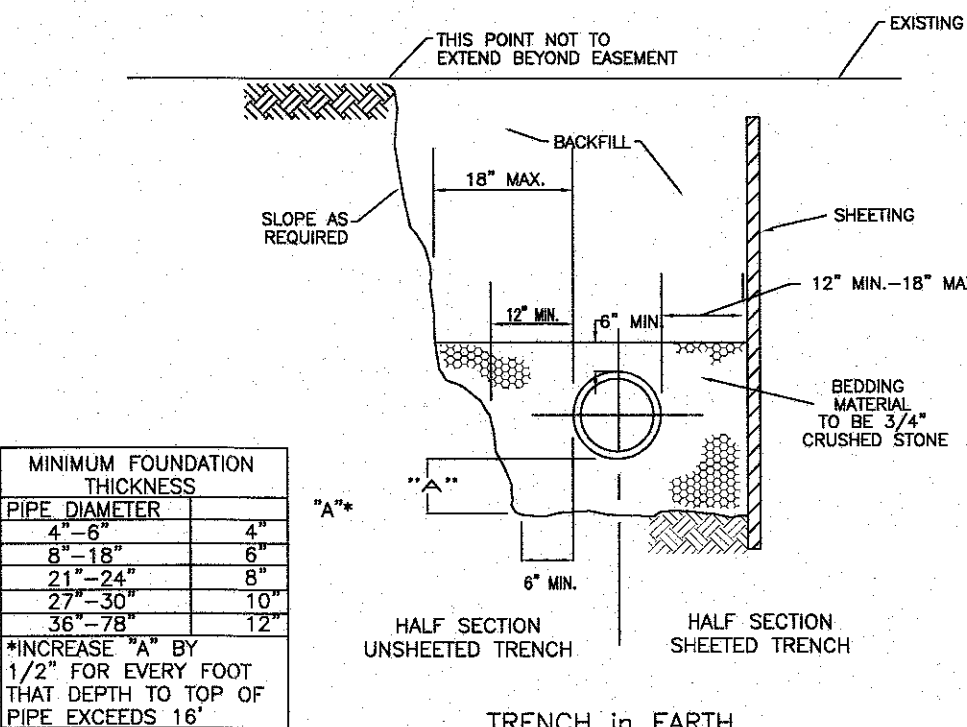
ALTERNATE CLEANOUT IN PAVED AREAS DETAIL  
SCALE: N.T.S.



STANDARD MANHOLE FRAME & COVER  
N.T.S.



STANDARD MANHOLE COVER  
N.T.S.



SANITARY SEWER TRENCH SECTIONS  
N.T.S.



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UNAUTHORIZED ALTERATIONS OR  
ADDITIONS TO A SURVEY MAP BEARING A  
LICENSED LAND SURVEYOR'S EMBOSSED  
SEAL IS A VIOLATION OF SECTION 7005,  
SUBDIVISION 2, OF THE NEW YORK STATE  
EDUCATION LAW.  
"ONLY COPIES FROM THE ORIGINAL TRACINGS  
OF THIS SURVEY MAP MARKED WITH THE  
LAND SURVEYOR'S EMBOSSED SEAL SHALL  
BE CONSIDERED TO BE VALID TRUE  
COPIES."  
CERTIFICATION INDICATED HERE ON SCOPY  
THAT THIS SURVEY WAS PREPARED IN  
ACCORDANCE WITH THE EXISTING CODE OF  
PRACTICE FOR LAND SURVEYORS ADOPTED  
BY THE DELAWARE - PENNSYLVANIA  
SURVEYORS ASSOCIATION, SAID  
CERTIFICATIONS SHALL RUN ONLY TO  
THOSE NAMED INDIVIDUALS AND/OR  
INSTITUTIONS FOR WHOM THE SURVEY WAS  
PREPARED. CERTIFICATIONS ARE NOT  
TRANSFERABLE TO ADDITIONAL INDIVIDUALS,  
INSTITUTIONS, THEIR SUCCESSORS AND/OR  
ASSIGNS OR SUBSEQUENT OWNERS."

**RYAN A. NASHER, P.E.**  
N.Y.S. P.E. LIC. NO. 89066

**JOHN R. ATZL**  
N.Y.S. LIC. NO. 80228

1	04-11-23	LANG & TULLY MEMO 3-24-23
REVISION	DATE	DESCRIPTION
<b>ATZL, NASHER &amp; ZIGLER P.C.</b> ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4684 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT: <b>SUMMERVILLE INDUSTRIAL PARK</b>		
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK		
TITLE: <b>UTILITY DETAILS</b>		
DRAWN BY: VC	CHECKED BY: DMZ	
DATE: JANUARY 22, 2023	SCALE: N.T.S.	
PROJECT NO: 3390	DRAWING NO: 9	



### POROUS PAVEMENT DETAIL

### GRADATIONS AND COMPACTION OF CHOKER, FILTER, AND RESERVOIR COURSE MATERIALS

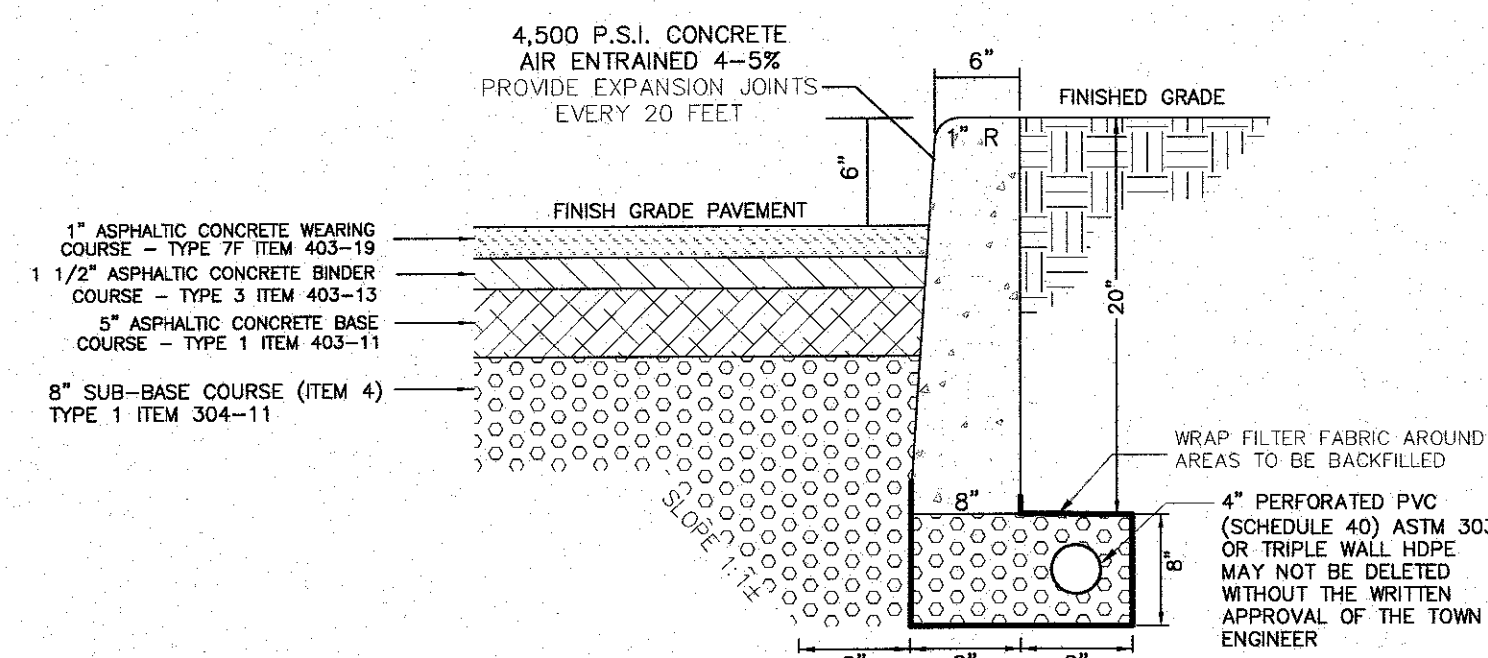
US STANDARD SIEVE SIZE INCHES/MM	PERCENT PASSING (%)			
	CHOKER COURSE (AASHTO No. 57)	FILTER COURSE (MODIFIED NOOT 504.1)	RESERVOIR COURSE (AASHTO No. 3)	RESERVOIR COURSE ALTERNATIVE* (AASHTO No. 5)
6/150	---	100	---	---
2/63.5	---	---	100	---
2/150	---	---	90 - 100	---
1/137.5	100	---	55 - 70	100
1/25	95 - 100	---	0 - 15	95 - 100
3/19	---	---	---	20 - 55
1/12.5	25 - 60	---	0 - 5	0 - 10
3-8-9.5	---	---	---	0 - 5
#4-4.75	0 - 10	70 - 100	---	---
#20-3.36	0 - 5	---	---	---
#200-0.075	---	0 - 6**	---	---
% COMPACTION ASTM D608 / AASHTO 199	95	---	95	95

\* ALTERNATE GRADATIONS (AASHTO No. 5) MAY BE ACCEPTED UPON ENGINEER'S APPROVAL  
\*\* PREFERABLY LESS THAN 45 FINES

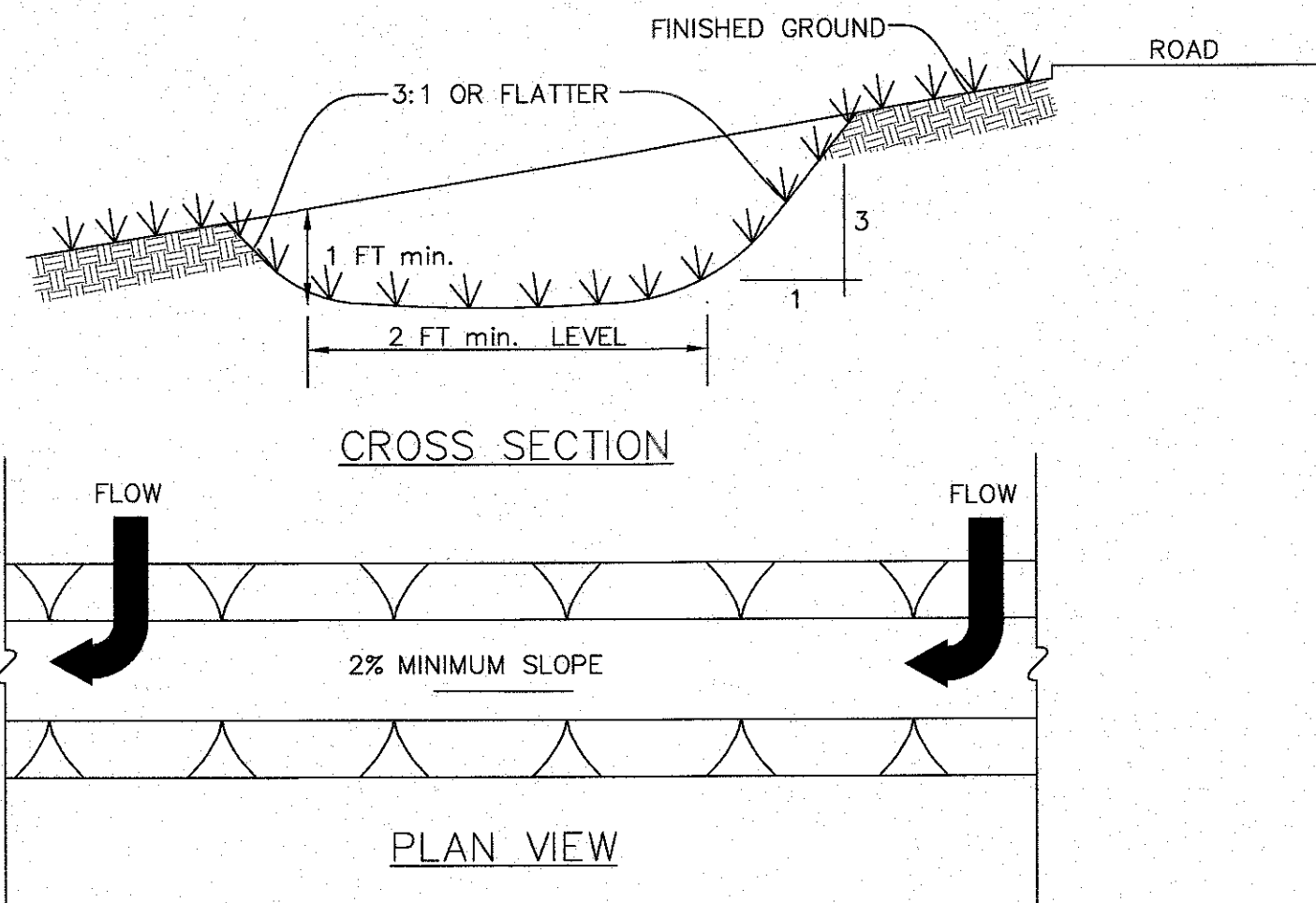
## POROUS ASPHALT MIX DESIGN CRITERIA

SIZE Sieve (inch/mm)	PERCENT PASSING (%)
0.75/9/5	100
0.50/6/3	85-100
0.375/4/5	55-75
No.4-7.75	10-25
No.2-30	5-10
No.20-0.075 (#200)	2-4
BINDER CONTENT (%ASTM D1601)	4-6 ± 0.5
FIBER CONTENT BY TOTAL MIXTURE MASS	0.3% CELLULOSE OR 0.4% MINERAL
RUBBER SOLIDS (SBR) CONTENT BY WEIGHT OF THE BITUMEN	1.5-3% OR TBD
400 WFT CONTENT (ASTM D6752/ASPHOT 1275)	16 ± 0.2-20%
BRANDOWN (ASTM D6590*)	≤ 0.3%
RETAINED TENSILE STRENGTH (ASTM D285)*	≥ 80.0%
CANTABRO ABRASION TEST ON UNAGED SAMPLES (ASTM D5696-94)	≤ 0.50%

•• IF THE TSR (RETAINED TENSILE STRENGTH) VALUES FALL BELOW 80% WHEN TESTED PER NAPA IS (5) WITH A SINGLE FREEZE THAW CYCLE RATHER THAN 5), THEN IN STEP 4, THE CONTRACTOR SHALL EMPLOY AN ANTISTIP ADDITIVE, SUCH AS HYDRATED LIME (ASTM C977) OR AFATY AMINE TO RAISE THE TSR VALUE ABOVE 80%.

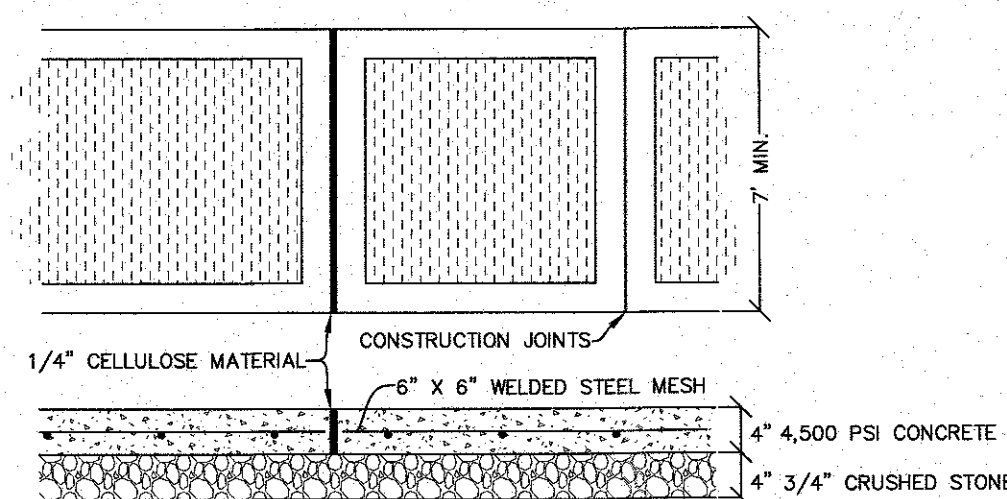


ASPHALTIC CONCRETE PAVEMENT & CONCRETE CURB  
and UNDERDRAIN DETAIL for COMMERCIAL STREETS  
N.T.S.



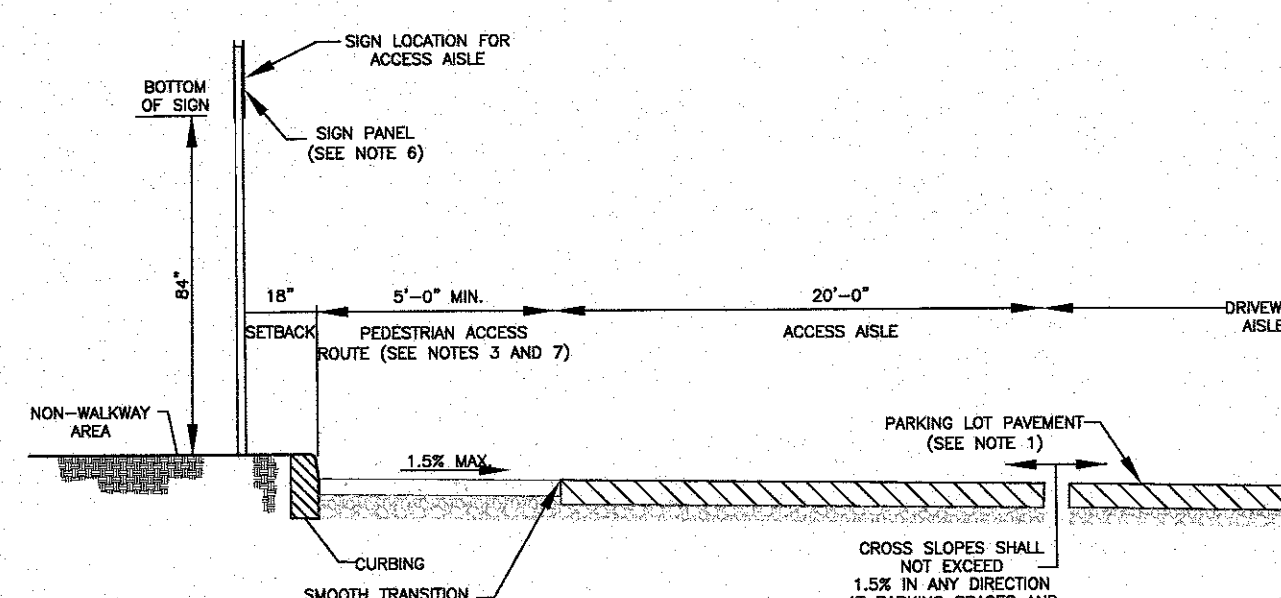
## SPECIFICATIONS FOR SWALE

1. ALL SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
2. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
3. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
4. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

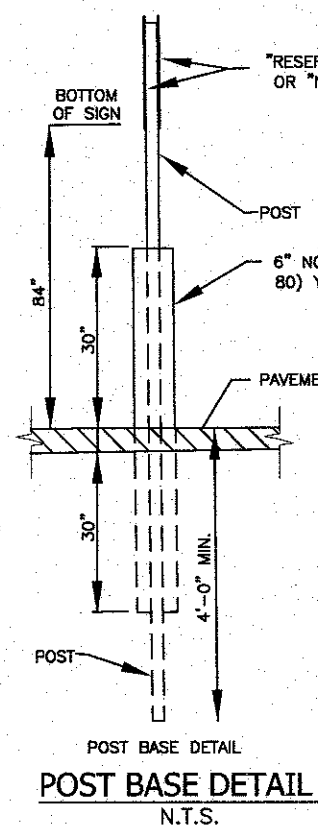


1. CONSTRUCTION JOINTS HAVING A 1/4 INCH RADIUS SHALL BE PLACED AT 4 FEET INTERVALS.
2. INSTALL EXPANSION JOINTS OF 1/4 INCH CELLULOSE MATERIAL OF EQUAL AT 20 FEET INTERVALS.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
4. CONCRETE SHALL BE AIR ENTRAINED 6% PLUS OR MINUS 1%.
5. SIDEWALK REINFORCEMENT SHALL CONSIST OF #6 GAUGE 6" X 6" STEEL MESH PLACED 2 INCHES FROM THE BOTTOM OF THE SIDEWALK SLAB.

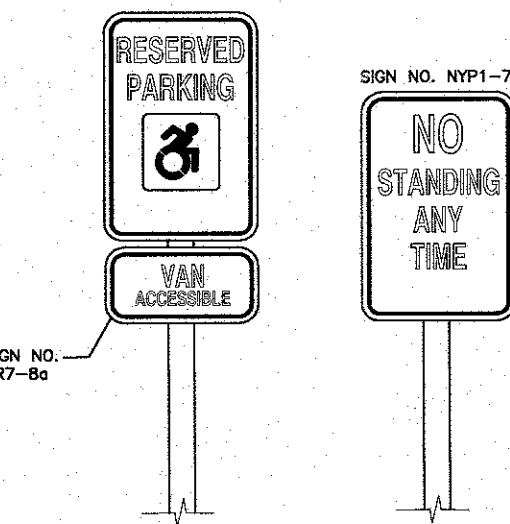
CONCRETE SIDEWALK



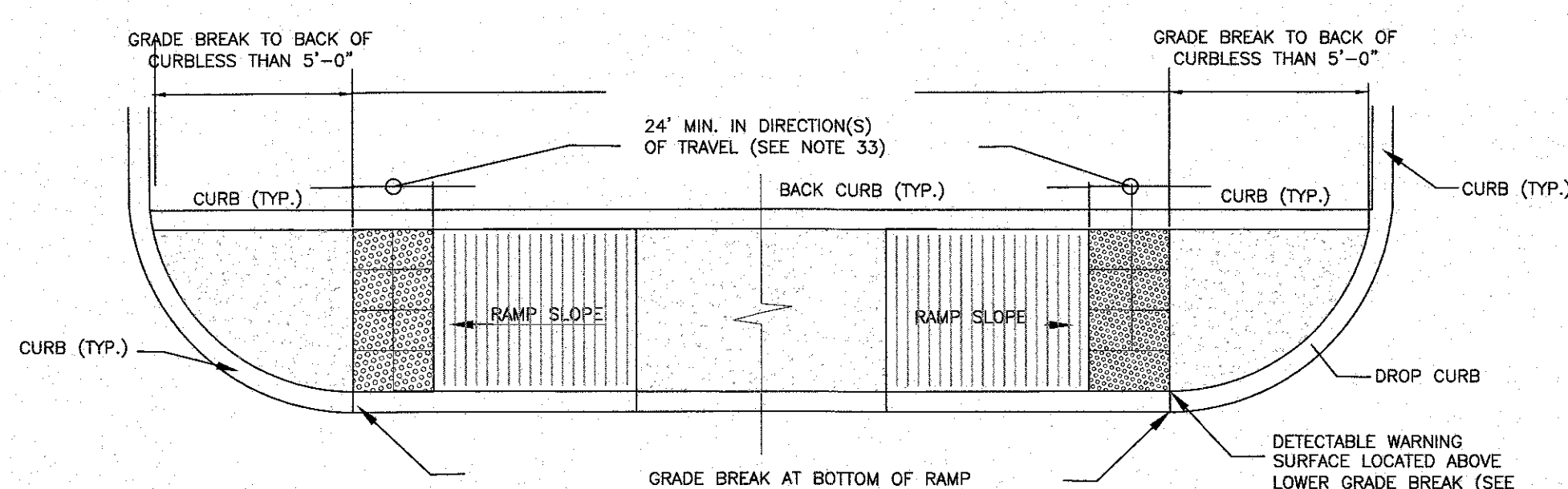
TYPICAL SECTION DETAIL  
N.T.S.



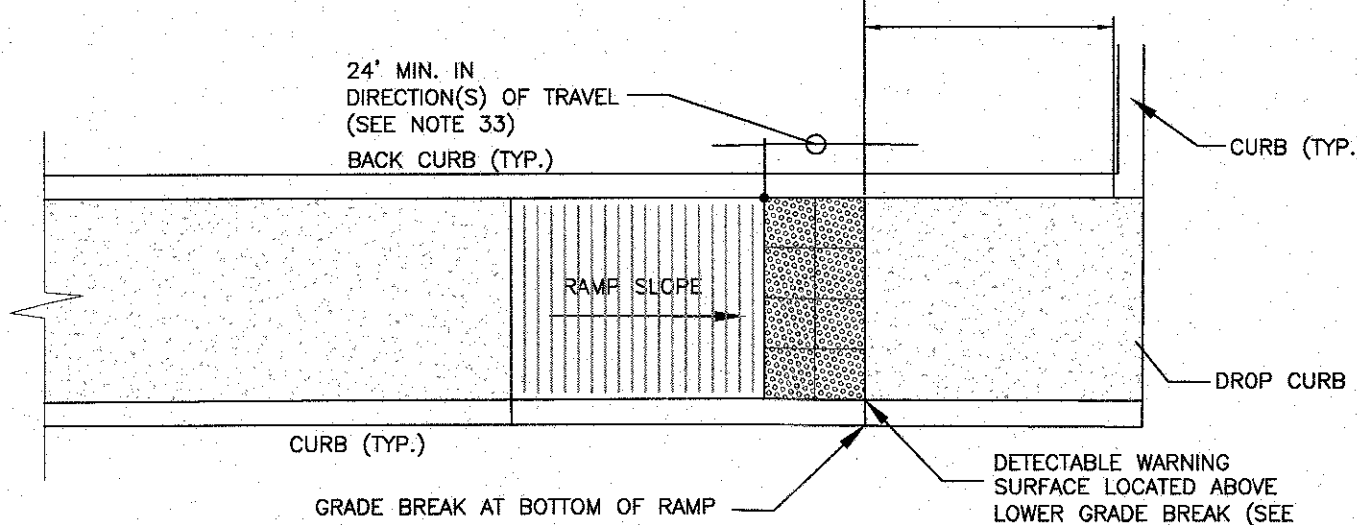
POST BASE DETAIL  
N.T.S.



TYPICAL PARKING SPACE  
& PARKING ASILE SIGN DETAIL  
N.T.S.



CURB RAMP CONFIGURATION  
N.T.S.



RAMP BACK BACK CURB DETAIL  
N.T.S.

GENERAL NOTES:

1. THESE SHEETS ARE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA), AND THE REQUIREMENTS OF THE 2011 PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THEIR PUBLIC RIGHT OF WAY (PROWAG).
2. THE DIMENSIONS SHOWN IN THE DETAIL AS MINIMUM AND MAXIMUM ARE THE MINIMUM AND MAXIMUM FOR LAYOUT. FRO WORK ACCEPTANCE VALUES SEE "CRITICAL ELEMENTS FOR THE DESIGN, LAYOUT, AND ACCEPTANCE OF PEDESTRIAN FACILITIES" ON SHEET 11 OF 12 AND SHEET 12 OF 12.
  - a. THE CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ELEVATIONS AND DIMENSIONS MEETS THAT THE FINAL LAYOUT OF PEDESTRIAN FACILITIES COMPLIES WITH ALL REQUIREMENTS. ANY SURVEY WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE PAID FOR UNDER ITEM 625.01 – SURVEY OPERATIONS.
  - b. FACILITIES THAT CANNOT BE CONSTRUCTED TO MEET THE DESIGN STANDARDS, DUE TO DESIGN CONSTRAINTS, SHALL BE CONSTRUCTED TO MEET THE STANDARDS TO THE GREATEST EXTENT PRACTICABLE. FEATURES THAT CANNOT MEET THE VALUES FOR WORK ACCEPTANCE, SHALL BE IDENTIFIED AS NONSTANDARD. THE HIGHWAY DEPT. WILL BE NOTIFIED OF ANY NONSTANDARD.
  - c. TO CHECK FIELD LAYOUT AND TO VERIFY WORK ACCEPTANCE, ALL MEASUREMENTS SHALL BE MADE IN ACCORDANCE WITH THE "NOTES ON INSPECTION METHODS (MEASUREMENT) ON SHEET 11 OF 12."
  - d. JOINTS BETWEEN SIDEWALKS, CURB RAMP, TURNING SPACES AND ROADWAYS SHALL BE FLUSH AND FREE FROM ABRUPT VERTICAL CHANGES GREATER THAN 1". VERTICAL SURFACE DISCONTINUITIES BETWEEN 1" AND 3" SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. THE BEVEL SHALL BE APPLIED ACROSS THE ENTIRE JOINT. SEE "VERTICAL SURFACE DISCONTINUITIES" DETAIL ON SHEET 2 OF 12.
  - e. SIDEWALKS ARE CONNECTED TO ROADWAYS BY BLENDED TRANSITIONS OR CURB RAMPS. BLENDED TRANSITIONS ARE CONNECTIONS BETWEEN THE SIDEWALK LEVEL AND THE ROADWAY LEVEL THAT HAVE A MAXIMUM GRADE (RUNNING SLOPE) OF 5%. CONNECTIONS WITH A MAXIMUM GRADE (RUNNING SLOPE) GREATER THAN 5% ARE CURB RAMPS.
  - f. CURB RAMPS AND BLENDED TRANSITIONS MAY REQUIRE THE INSTALLATION OF DETECTABLE WARNING. SEE ADDITIONAL "DETECTABLE WARNING NOTES" ON THIS SHEET, AND THE DETAILS ON SHEET 2 OF 12 FOR DIMENSIONS AND ORIENTATION.
  - g. SIDEWALKS SHALL BE CONSTRUCTED TO A MINIMUM GRADE OF 1% AND BE PERPENDICULAR TO THE DIRECTIONS OF TRAVEL AND SHALL NOT BE ROUNDED. VERTICAL ALIGNMENT SHALL BE GENERALLY PLANNER.
  - h. MATERIAL DEPTHS SHOWN ON THESE SHEETS ARE TYPICAL. MINIMUM VALUES MAY BE DIFFERENT IN THE CONTRACT DOCUMENTS.
3. SIDEWALK GRADE (RUNNING SLOPE) SHALL NOT EXCEED 4.5% FOR DESIGN AND LAYOUT OR 5% FOR WORK ACCEPTANCE, EXCEPT WHEN MATCHING INTO EXISTING SIDEWALK OR WHEN THE ADJACENT HIGHWAY GRADE SHALL NOT EXCEED THE HIGHWAY GRADE.
4. THE CROSS SLOPE OF PEDESTRIAN ACCESS ROUTES SHALL BE 1.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 2% MAXIMUM FOR WORK ACCEPTANCE. THE FOLLOWING EXCEPTIONS ARE ALLOWED:
  - a. WHERE PEDESTRIAN CROSSINGS ARE PROVIDED AT INTERSECTIONS WITHOUT YIELD – OR STOP – CONTROL, OR WHERE THERE IS ANY TRAFFIC SIGNAL WITHOUT A FLASHING RED, THE CROSS SLOPE OF A PEDESTRIAN ACCESS ROUTE CONTAINED WITHIN A STREET RIGHT-OF-WAY SHALL BE 4.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 5% MAXIMUM FOR WORK ACCEPTANCE.
  - b. WHERE MIDBLOCK PEDESTRIAN STREET CROSSINGS ARE PROVIDED, THE CROSS SLOPE OF A PEDESTRIAN ACCESS ROUTE CONTAINED WITHIN A MIDBLOCK STREET CROSSING SHALL BE 4% TO 5% TO EQUAL THE CROSS SLOPE OF THE STREET.
  - c. THE MINIMUM CLEAR WIDTH FOR PEDESTRIAN ACCESS ROUTES IS 4'-0", EXCLUSIVE OF THE CURB. THE DEPARTMENT'S PREFERRED CLEAR WIDTH IS 5'-0". WHEN WALKWAY WIDTHS ARE LESS THAN 4'-0", 5'-0" x 5'-0" PASSING SPACES (SHOWN IN DETAIL A OR B SHEET), OR A FEATURE OF EQUAL OR GREATER WIDTHS THAT PROVIDES AN EQUAL OR GREATER SURFACE CRITERIA, SHALL BE PROVIDED AT A MINIMUM INTERVAL OF 200'. EXISTING DRIVEWAYS AND STREET CROSSINGS MAY SERVE AS PASSING SPACES, PROVIDED THEY MEET SLOPE AND SURFACE REQUIREMENTS FOR A PEDESTRIAN ACCESS ROUTE.
5. THE BUFFER ZONE IS THE PHYSICAL DISTANCE SEPARATING THE PEDESTRIAN ACCESS ROUTE FROM THE SINGLE TRAVELED WAY. THE BUFFER ZONE MAY BE PLANTED OR PAVED, WHERE THE BUFFER ZONE WIDTH, EXCLUSIVE OF CURB, IS LESS THAN 3'-0", THE SURFACE SHOULD BE PAVED OR CONSTRUCTED WITH OR CONSTRUCTED WITH PAVED MATERIALS.
6. THE MAXIMUM RECOMMENDED SLOPE OF A TURF BUFFER ZONE OR SLOPE TRANSITION BEHIND SIDEWALK IS 25%. BUFFER ZONES WITH A CROSS SLOPE GREATER THAN 25% SHOULD BE PAVED, PLANTED OR CONSTRUCTED WITH HARDCAPE MATERIALS.
7. WHEN CROSSING A ROADWAY, PEDESTRIAN CROSSINGS SHALL BE IN CONFORMANCE WITH STANDARD SHEET 608-03.
8. FOR PEDESTRIAN SIGNALS AND PEDESTRIAN PUSH BUTTONS, REFER TO SHEET 12 TO 12 AND STANDARD SHEET 680-10 FOR DETAILS.
9. WHEN EXISTING ROADWAYS ARE SAWCUT TO INSTALL CURBING AND/OR SIDEWALK, THE ROADWAY SHOULD BE SAWCUT AT LEAST 2'-0" FROM THE PROPOSED CURB LINE TO ALLOW FOR ADEQUATE COMPACTION OF ASPHALT. IF THE SAWCUT IS LESS THAN 2'-0" FROM THE PROPOSED CURB LINE TO ALLOW FOR ADEQUATE COMPACTION OF ASPHALT, IF THE SAWCUT IS LESS THAN 2'-0" FROM THE PROPOSED CURB LINE, THE SAWCUT SHALL BE REBUILD USING CLASS C, C, OR D CONCRETE. SEE DETAILS ON SHEET 9 OF 12.

CURB RAMP NOTES:

18. THE MINIMUM CLEAR WIDTH OF A CURB RAMP SHALL BE 4'-0". THE DEPARTMENT'S PREFERRED CLEAR WIDTH IS 5'-0".
19. THE MAXIMUM GRADE [RUNNING SLOPE] FOR DESIGN AND LAYOUT OF A CURB RAMP SHALL BE 7.5%. THE GRADE FOR WORK ACCEPTANCE SHALL BE A MAXIMUM OF 8.3%.
20. WHEN THE TERRAIN REQUIRES DOWN CONSTRUCTION OF A CURB RAMP WITH A GRADE (RUNNING SLOPE) OF 8.3% OR LESS WITHIN 15'-0" FOR WORK ACCEPTANCE.
21. THE CROSS SLOPE OF THE CURB RAMP SHALL BE AS FAST AS POSSIBLE AND STILL PROVIDE POSITIVE DRAINAGE. THE CROSS SLOPE OF A CURB RAMP SHALL BE 1.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 2% MAXIMUM FOR WORK ACCEPTANCE. THE FOLLOWING EXCEPTIONS ARE ALLOWED:
  - A. WHERE PEDESTRIAN STREET CROSSINGS ARE PROVIDED AT INTERSECTIONS WITHIN A STREET STOP CONTROL, WHERE THERE IS ANY TRAFFIC SIGNAL WITHOUT A FLASHING RED, OR AT MIDBLOCK CROSSING, THE CROSS SLOPE OF THE CURB RAMP SHALL BE PERMITTED TO EQUAL THE STREET OR HIGHWAY GRADE. WHERE THE EXISTING ROADWAY GRADE EXCEEDS THE MAXIMUM ALLOWED CROSS SLOPE, THE CURB RAMP CAN BE CORRECTED WITHIN THE SCOPE OF THE PROJECT, THE RAMP SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE "CURB RAMP CROSS SLOPE TRANSITION" DETAIL ON SHEET 8 OF 12. THE RAMP MAY NEED TO BE JUSTIFIED AS A NONSTANDARD FEATURE.
  - B. 3.3. SIGNET.
  22. RAMP SIDE OPTIONS ARE DETAILED ON SHEET 3 OF 12. IF A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES SHALL BE INSTALLED WITH A MAXIMUM SLOPE OF 9.5% FOR DESIGN AND LAYOUT, AND 12% FOR WORK ACCEPTANCE. A PEDESTRIAN CIRCULATION PATH IS ASSUMED TO CROSS THE CURB RAMP WHEN AREA ADJACENT TO THE RAMP IS PAVED AND FREE OF VERTICAL OBSTRUCTION THAT WOULD PREVENT PEDESTRIAN CIRCULATION PATH/
  23. THE BACK SIDE OF A PARALLEL RAMP SHOULD BE GRADED TO A MAXIMUM SLOPE OF 12% TO MATCH EXISTING TERRAIN, UNLESS OTHERWISE SHOWN IN THE CONTRACT DOCUMENTS. WHERE GRADING IS NOT FEASIBLE DUE TO LIMITED ROW OR PHYSICAL CONSTRAINTS, A BACK CURB MAY BE INSTALLED. SEE DETAIL ON SHEET 3 OF 12.
  24. THE DEPARTMENT'S PREFERENCE IS TO INSTALL TWO SEPARATE CURB RAMP AT A STREET CORNER THAT SERVES TWO SEPARATE PEDESTRIAN CROSSINGS, WITH EACH RAMP ALIGNED TO THE CROSSING THAT IT SERVES, WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT THE INSTALLATION OF A SINGLE CURB RAMP (I.E., A DIAGONAL CURB RAMP) PERMITTED TO SERVE BOTH PEDESTRIAN CROSSINGS.

TURNING SPACE AND CLEAR SPACE NOTE:

26. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP, AS APPLICABLE. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.
27. WHERE THERE ARE NO VERTICAL CONSTRAINTS AT THE BACK OF SIDEWALK (E.G., BERTICAL, CURBS, BUILDINGS, FENCES) THE TURNING SPACE DIMENSIONS SHALL BE 4'-0" x 4'-0" MINIMUM. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4'-0" x 5'-0" MINIMUM. THE 5'-0" DIMENSION SHALL BE IN THE DIRECTION OF THE RAMP RUN.
28. TURNING SPACES SHALL NOT BE DESIGNED WITH A SLOPE GREATER THAN 1.5% IN ANY DIRECTION, WHILE PROVIDING POSITIVE DRAINAGE TO THE MAXIMUM SLOPE FOR WORK ACCEPTANCE IS 2.0%.
29. BELOW THE BOTTOM GRADE BREAK OF A CURB RAMP, A CLEAR SPACE OF 4'-0" x 4'-0" MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES, AND DROP CURBS.

DETECTABLE WARNING NOTES:

30. DETECTABLE WARNING SURFACES (DWS) SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS ON PEDESTRIAN ACCESS ROUTES:
  - A. CURB RAMPS AND BLENDED TRANSITIONS AT PEDESTRIAN STREET CROSSINGS.
  - B. PEDESTRIAN REFUGE ISLANDS (WHERE THE LENGTH OF THE PEDESTRIAN ACCESS ROUTE ACROSS THE REFUGE ISLAND IS GREATER THAN OR EQUAL TO 6')
  - C. PEDESTRIAN AT-GRADE RAILROAD CROSSINGS NOT LOCATED WITHIN A STREET OR HIGHWAY.
31. DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAYS.
32. WITH THE EXCEPTION OF THE DETECTABLE WARNING SURFACE TRUNCATION, SOME DETAILS ON SHEETS 2 OF 12, DETECTABLE WARNING DOMES ARE NOT DEPICTED TO SCALE ON THESE SHEETS.
33. DETECTABLE WARNING FLUSH SURF SHALL EXTEND 24" MINIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL ACROSS THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE, EXCLUDING ANY FLARED SIDES.
34. SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. IF REQUIRED, THE BORDER SHALL NOT EXCEED 2" WHERE THE BACK OF THE CURB EDGE IS TOOLED TO PROVIDE A RADIUS, THE BORDER DIMENSION SHALL

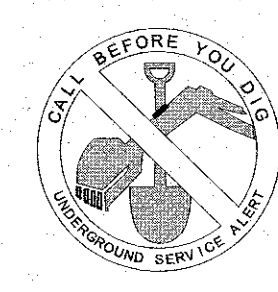
BE MEASURED FROM THE INSIDE EDGE OF THE CURB RADIUS. BORDERS CANNOT BE INCLUDED AS PART OF THE 24" MINIMUM DIMENSION DESCRIBED IN NOTE 33.

WHERE CURB IS NOT USED, THE EDGE OF PAVEMENT SHALL BE SUBSTITUTED FOR THE FACE OF CURB FOR PLACEMENT OF DETECTABLE WARNING.

ON SLOPES OF 5% OR GREATER, THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE LOWER CROWN OF THE SLOPE. ON FLATTER SLOPES, THE ROWS ARE RADIAL.

THEY MAY DIFFER IN DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON SHEET 2 OF 12. DOME ALIGNMENT THAT IS PERPENDICULAR OR RADIAL TO THE LOWER GRADE BREAK IS NOT REQUIRED ON FLOOD PLAINS.

THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. DETECTABLE WARNING SURFACES SHALL CONTRAST VISIBLY WITH ADJACENT GUTTER, STREET OR HIGHWAY SURFACE. PEDESTRIAN ADJACENT ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.



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"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

"CERTIFICATION INDICATED HERE ON SIGN THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE LAND SURVEYOR'S ASSOCIATION.

"CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS CONDUCTED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."


THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHEN SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATIONS ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

STATE OF NEW YORK  
SEAL OF THE OFFICE OF THE ENGINEERING COUNCIL  
RYAN A. NASHER  
REGISTERED PROFESSIONAL ENGINEER

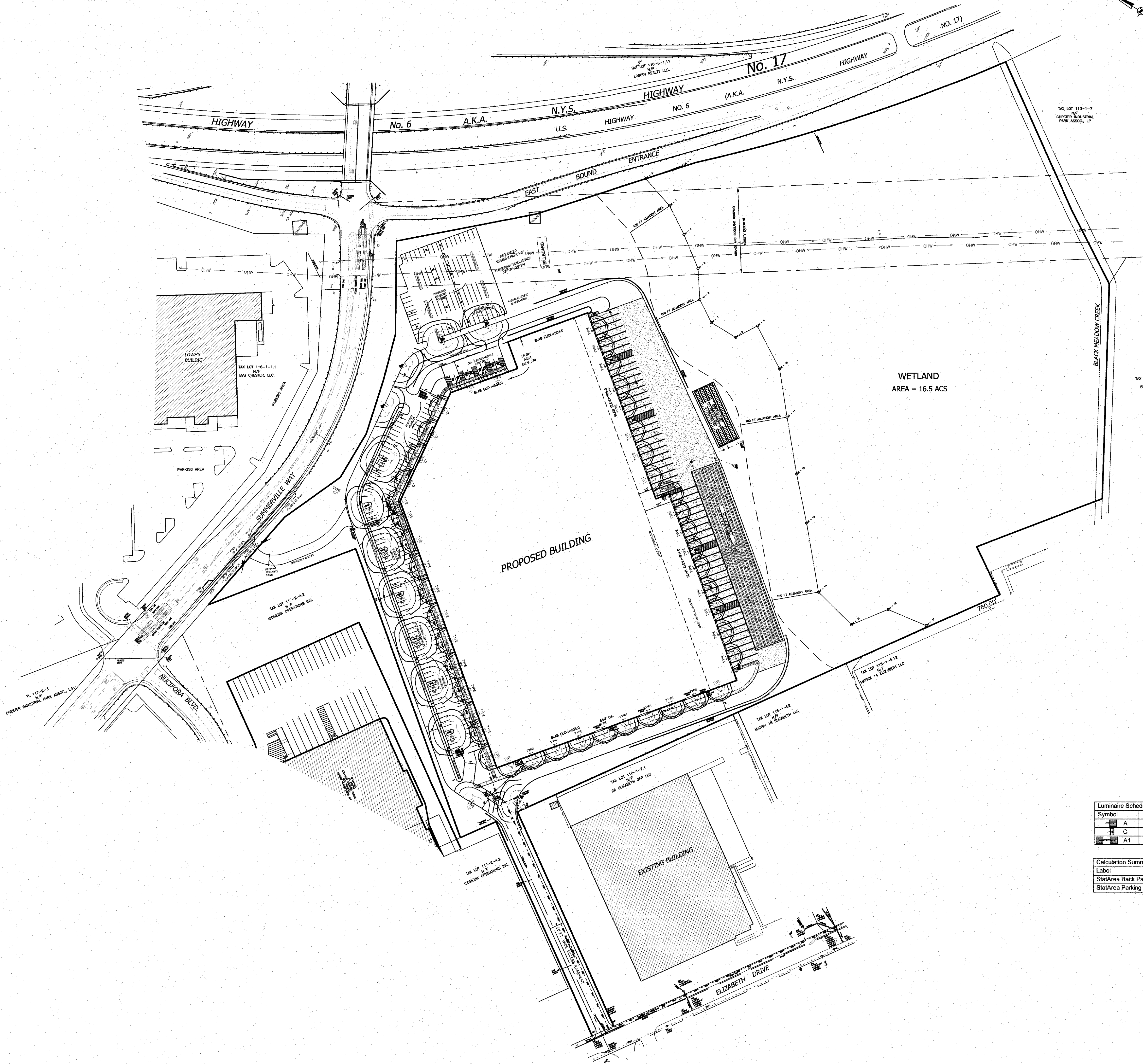
*Ryan Nasher*

RYAN A. NASHER, P.E.  
N.Y.S. P.E. LIC. NO. 89066

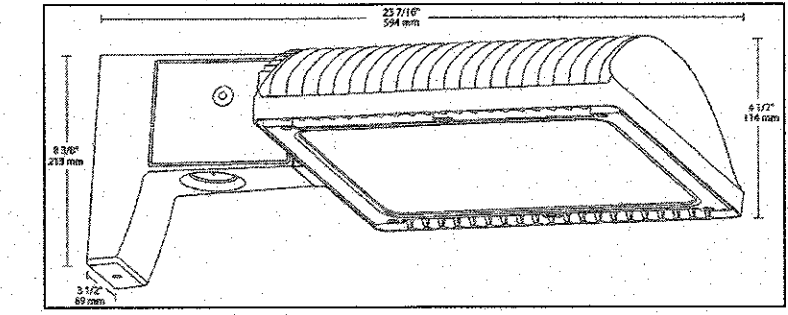
STATE OF NEW YORK  
JOHN R. ATZEL  
JOHN R. ATZEL  
N.Y.S. P.L.S. LIC. NO. 5022

1	04-11-23	LANC & TULLY MEMO 3-24-23
REVISION	DATE	DESCRIPTION
		
<b>ATZL, NASHER &amp; ZIGLER P.C.</b> ENGINEERS—SURVEYORS—PLANNERS		
232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: <a href="http://www.ANZNY.com">www.ANZNY.com</a>		
PROJECT:		
<p style="text-align: center;"><b>SUMMERVILLE INDUSTRIAL PARK</b></p>		
<p style="text-align: center;">VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK</p>		
TITLE:		
<p style="text-align: center;"><b>PAVEMENT, CURB AND SIDEWALK DETAILS</b></p>		
DRAWN BY: VC		CHECKED BY: DMZ
DATE: JANUARY 22, 2023		SCALE: 1:N.T.S.
PROJECT NO:		DRAWING NO:
3390		10





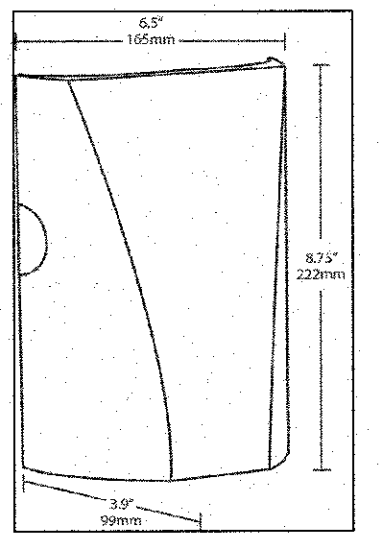
ALED3T50Y



Color: Bronze

Weight: 23.1 lbs

SLIM12Y

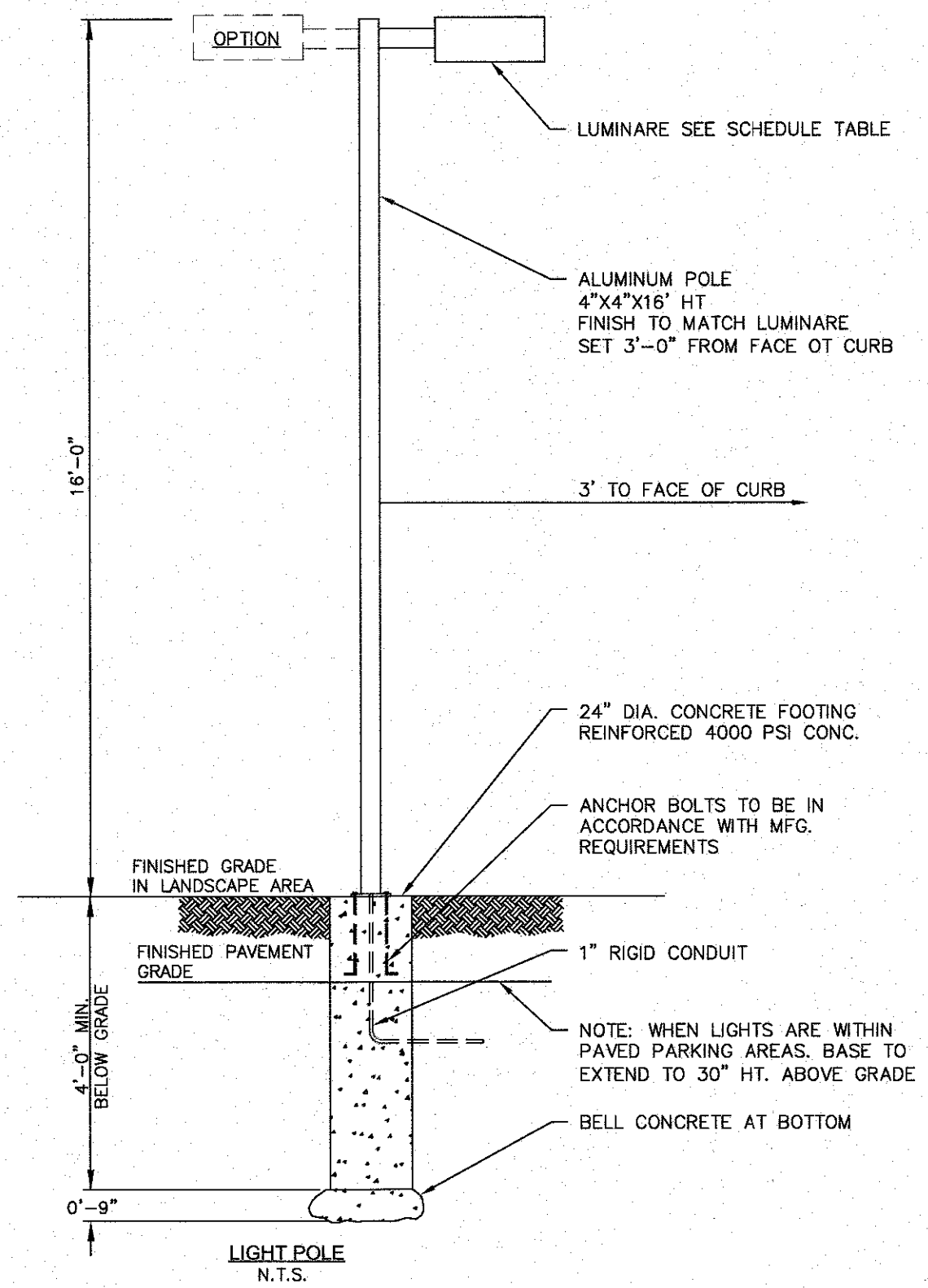


12, 18 and 26 Watt SLIM wall packs are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.

Color: Bronze

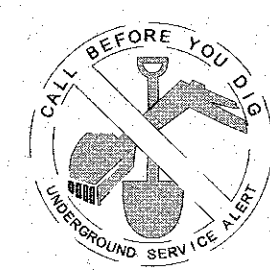
Weight: 4.5 lbs

NOTE:  
LIGHT FIXTURES AT THE REAR SIDE OF THE BUILDING TO BE MOTION SENSOR FIXTURES.

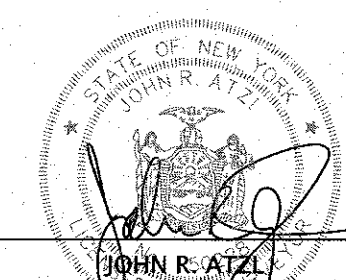
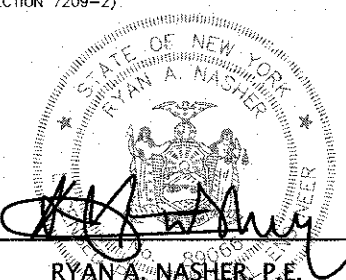


Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	BUG Rating
A	4	ALED3T50Y	SINGLE	N.A.	1.000	Pole Mount	B1-U0-G2
C	45	SLIM12Y	SINGLE	N.A.	1.000	Wall Mount	B1-U0-G0
A1	9	ALED3T50Y	DOUBLE	N.A.	1.000	Pole Mount	B1-U0-G0

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
StatArea Back Parking	Illuminance	Fc	1.54	2.6	0.8	2.57
StatArea Parking	Illuminance	Fc	1.21	5.3	0.3	4.03



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1	04-11-23	LANC & TULLY MEMO 3-24-23
REVISION	DATE	DESCRIPTION
 <b>ATZL, NASHER &amp; ZIGLER P.C.</b> ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4984 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT: <b>SUMMERVILLE INDUSTRIAL PARK</b>		
VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK		
TITLE: <b>LIGHTING PLAN</b>		
DRAWN BY: VC	CHECKED BY: DMZ	
DATE: AUGUST 05, 2022	SCALE: 1 IN. = 100 FT.	
PROJECT NO:	DRAWING NO:	
<b>3390</b>	<b>11</b>	



