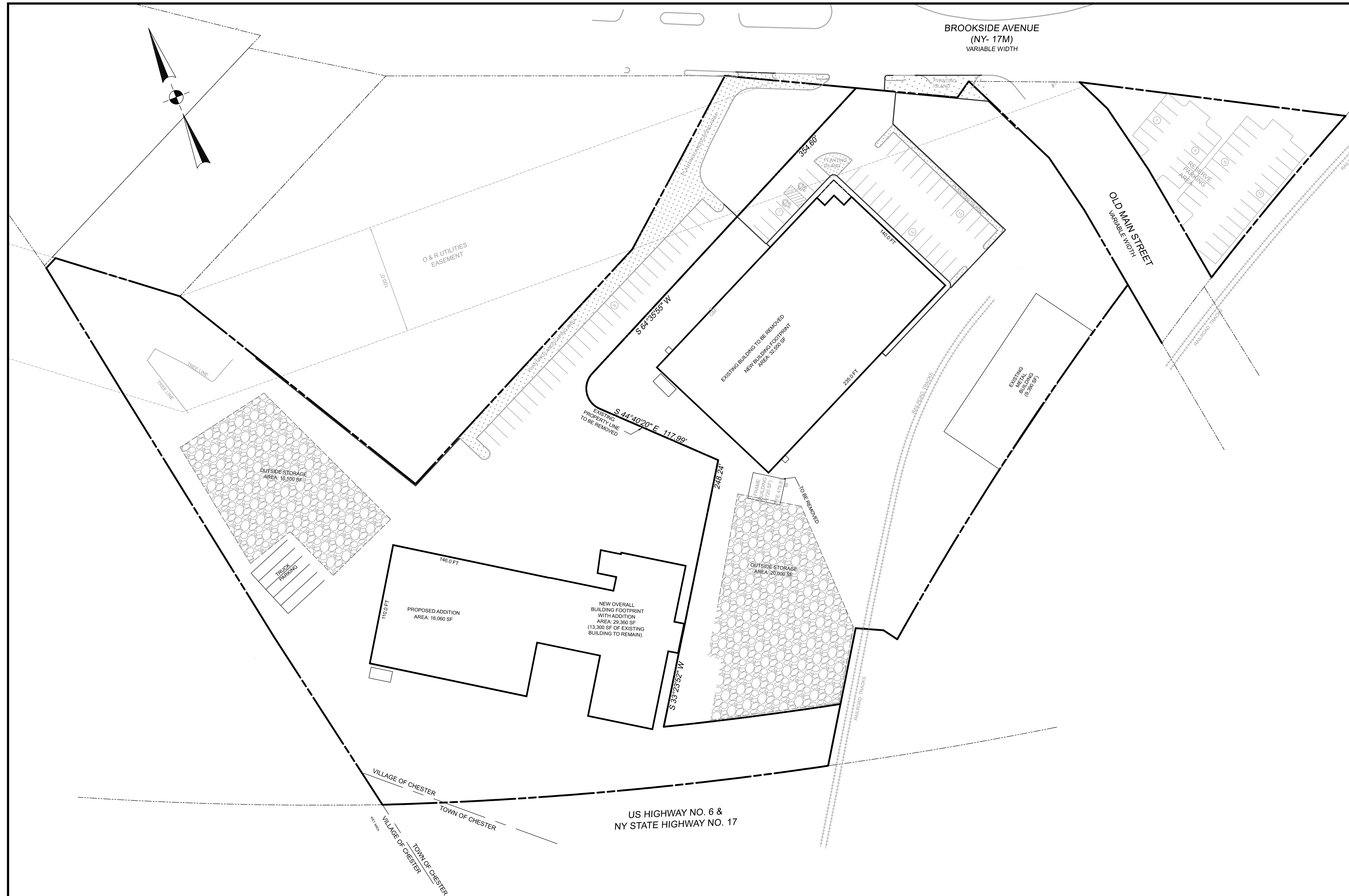


# SITE PLAN FOR PDJ TRUSS

## VILLAGE OF CHESTER ORANGE COUNTY, NEW YORK



### LOCATION PLAN NTS

### GENERAL NOTES

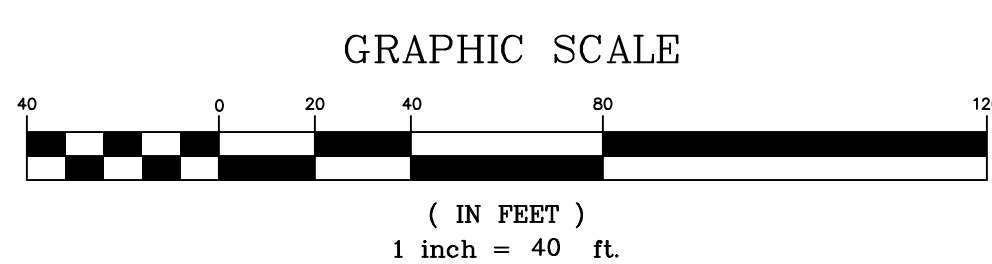
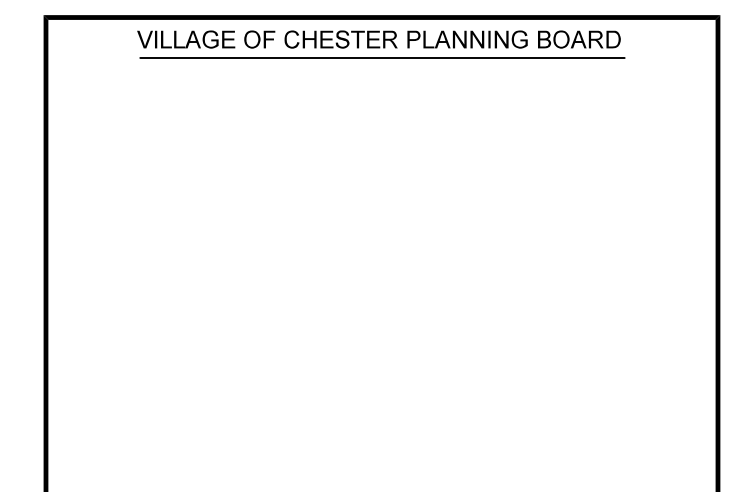
- RECORD OWNER AND APPLICANT:  
35 BROOKSIDE AVE LLC  
35 BROOKSIDE AVE  
CHESTER, NY 10918
- TAX PARCELS: 114-1-10.1, 10.2 & 17  
18,483 S.F. OR 0.424 ACRES (LOT 10.2)
- OVERALL AREA: 341,746 S.F. OR 7.845 ACRES (LOTS 10.1 & 17)  
18,483 S.F. OR 0.424 ACRES (LOT 10.2)
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON A FIELD SURVEY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC ON NOVEMBER 10, 2021.

### PARKING REQUIREMENTS

- PARKING REQUIREMENTS:**
- 2 LARGEST SUCCESSIVE SHIFTS: 2 SPACES FOR EVERY 3 EMPLOYEES.
  - OFFICE: 1 SPACE PER 200 SF
- LARGEST SHIFT:**
- 35 EMPLOYEES (MANUFACTURING):
  - 35 x 2 (SHIFTS) = 70 EMPLOYEES/2 SPACES = 46.7 SPACES.
- OFFICE:**
- 7,250 SF + 2,775 SF = 10,025 SF
  - 10,025 SF/11 SPACE/200 SF = 50.1 SPACES
- TOTAL SPACES REQUIRED: 97 SPACES**
- PARKING PROVIDED: 64 SPACES, INCLUDING 2 ADA SPACES.**
- 34 RESERVE SPACES**
- TOTAL: 98 SPACES**

### BUILDING USE BREAKDOWN

- FRONT BUILDING:**
- BUILDING FOOTPRINT: 32,550 SF
  - OFFICE: 7,250 SF
  - MANUFACTURING: 19,200 SF
  - COMMON/OPEN SPACE: 2,150 SF
  - STORAGE: 6,800 SF
- REAR BUILDING:**
- BUILDING FOOTPRINT: 29,360 SF
  - OFFICE: 2,775 SF
  - MANUFACTURING: 14,100 SF (NEW) + 13,315 SF (EXIST) = 27,415 SF
  - COMMON/OPEN SPACE: 1,200 SF



BULK REQUIREMENTS: B-2; BUSINESS										
	Min. Lot Area	Min. Lot Width	Min. Front Yard	Min. Side Yard	Min. Total Side Yards	Min. Rear Yard	Max. Lot Coverage	Max. Building Height	Min. Habitable Dwelling Area	
Required (B-2)	15,000 SF	100 FT	50 FT	15 FT	30 FT	20 FT	N/A	35 FT	3 Stories	N/A
Provided	7.9 acres	330 FT	85.2 FT	0.9 FT*	90.4 FT	53 FT	21%	29.5 FT	2 Stories	N/A
*Existing Condition										

BULK REQUIREMENTS: M-2; MANUFACTURING										
	Min. Lot Area	Min. Lot Width	Min. Front Yard	Min. Side Yard	Min. Total Side Yards	Min. Rear Yard	Max. Lot Coverage	Max. Building Height	Min. Habitable Dwelling Area	
Required (M-2)	1 acre	150 FT	50 FT	30 FT	60 FT	30 FT	60%	40 FT	2 Stories	500 SF
Provided	7.9 acres	330 FT	85.2 FT	0.9 FT*	90.4 FT	53 FT	21%	29.5 FT	< 2 Stories	N/A
*Existing Condition										

DATE	ISSUE	DESCRIPTION
MARCH 10, 2024	3	REVISE AS PER VILLAGE ENGINEER'S COMMENTS
OCTOBER 12, 2023	2	REVISE AS PER VILLAGE ENGINEER'S COMMENTS

114 - 1 - 10.1, 10.2 & 17

### COVER SHEET FOR PDJ TRUSS

VILLAGE/TOWN OF CHESTER - ORANGE COUNTY - NEW YORK

**CIVIL TEC Engineering & Surveying PC**

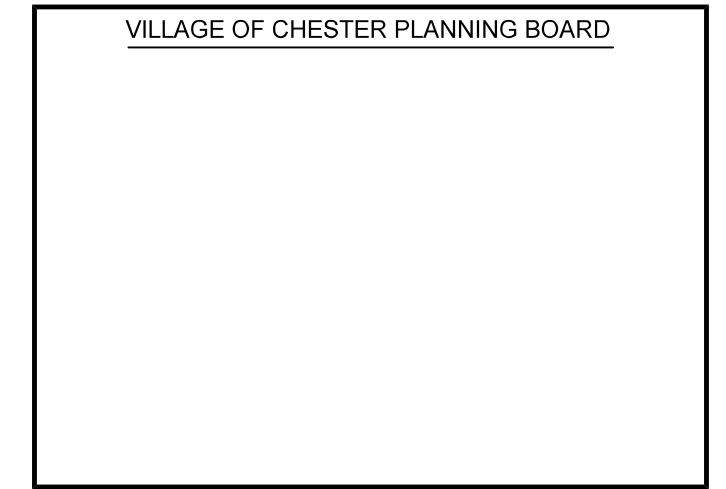
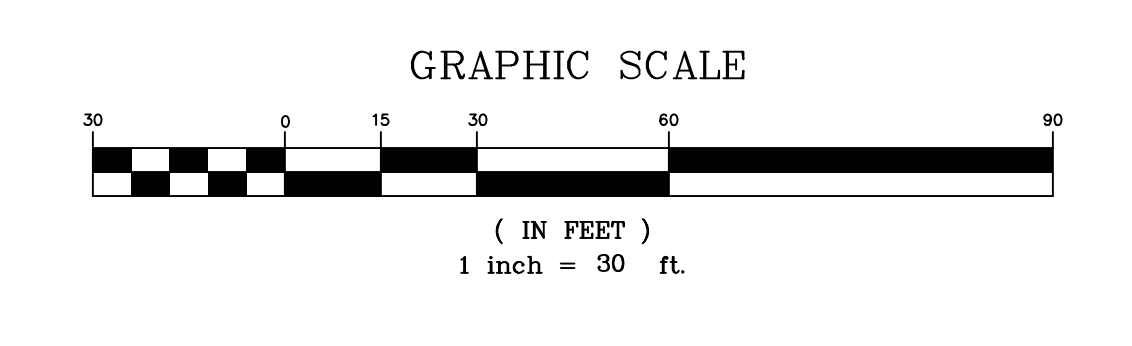
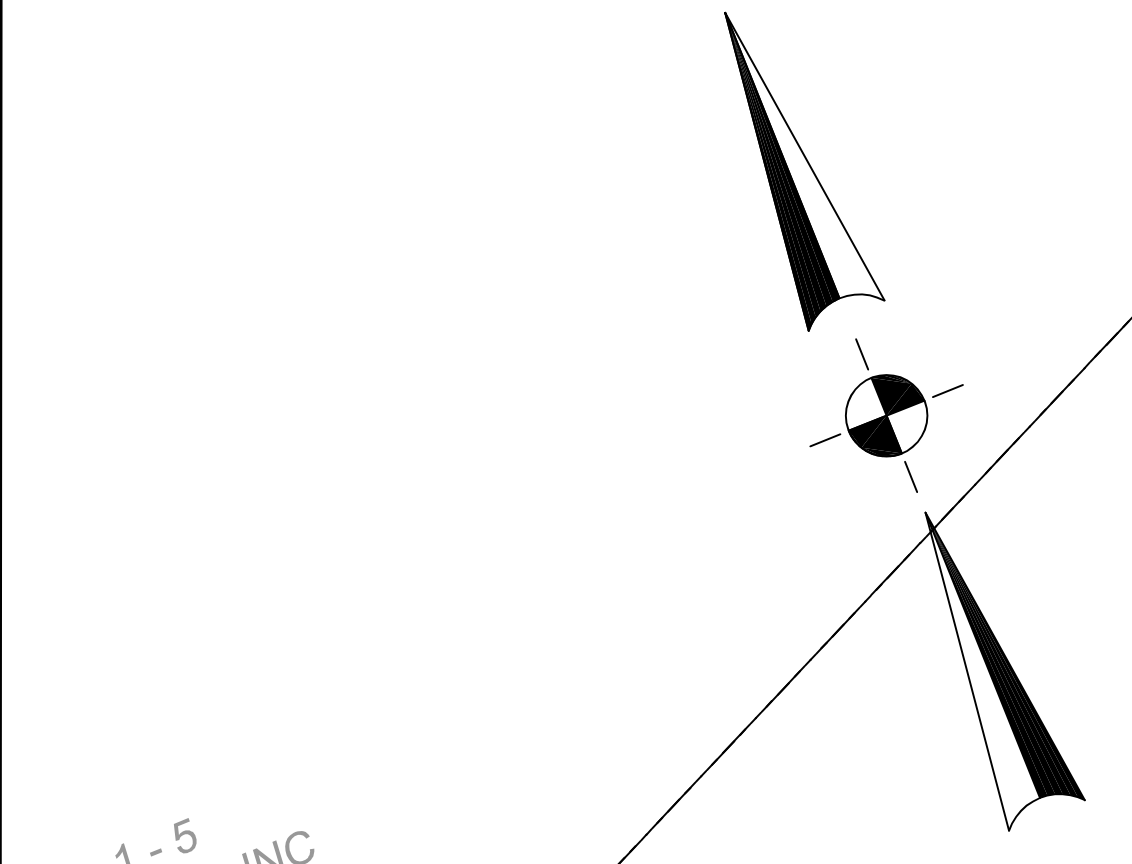
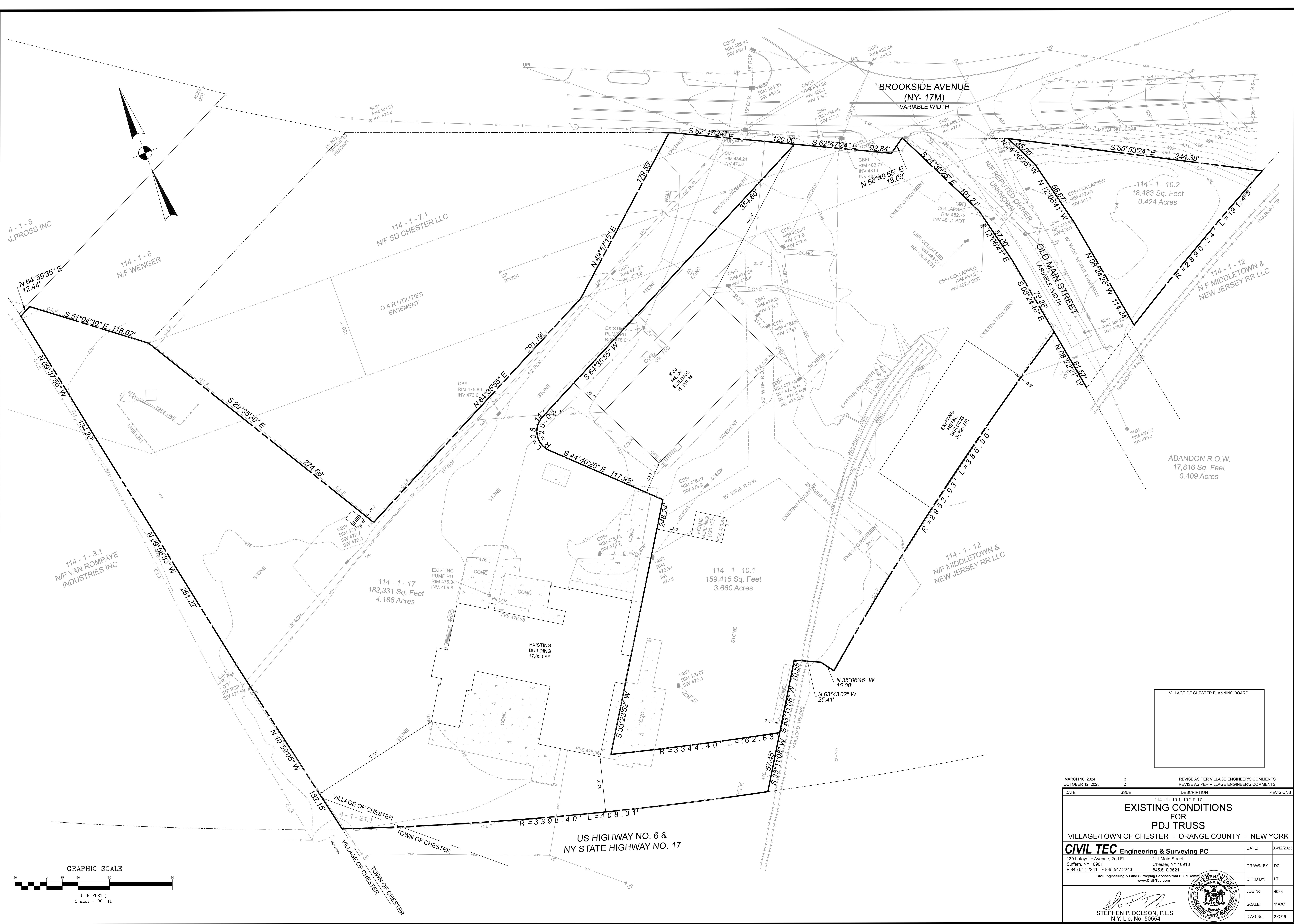
139 Lafayette Avenue, 2nd Fl. | 111 Main Street  
Suffern, NY 10901 | Chester, NY 10918  
P: 845.547.2241 | F: 845.547.2243 | 845.610.3621


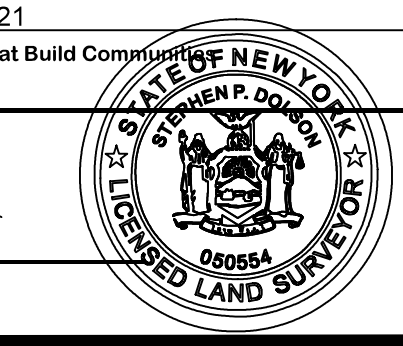
Civil Engineering & Land Surveying Services that Build Communities  
www.Civil-Tec.com

DATE: 06/12/2023  
DRAWN BY: DC  
CHKD BY: LT  
JOB No.: 4033  
SCALE: 1"=40'  
DWG No.: 1 OF 6

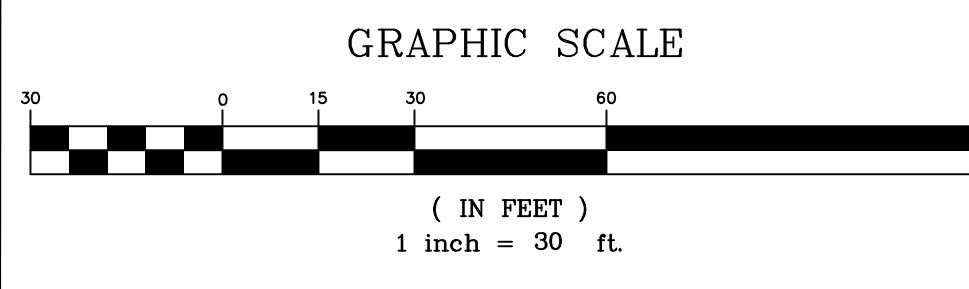
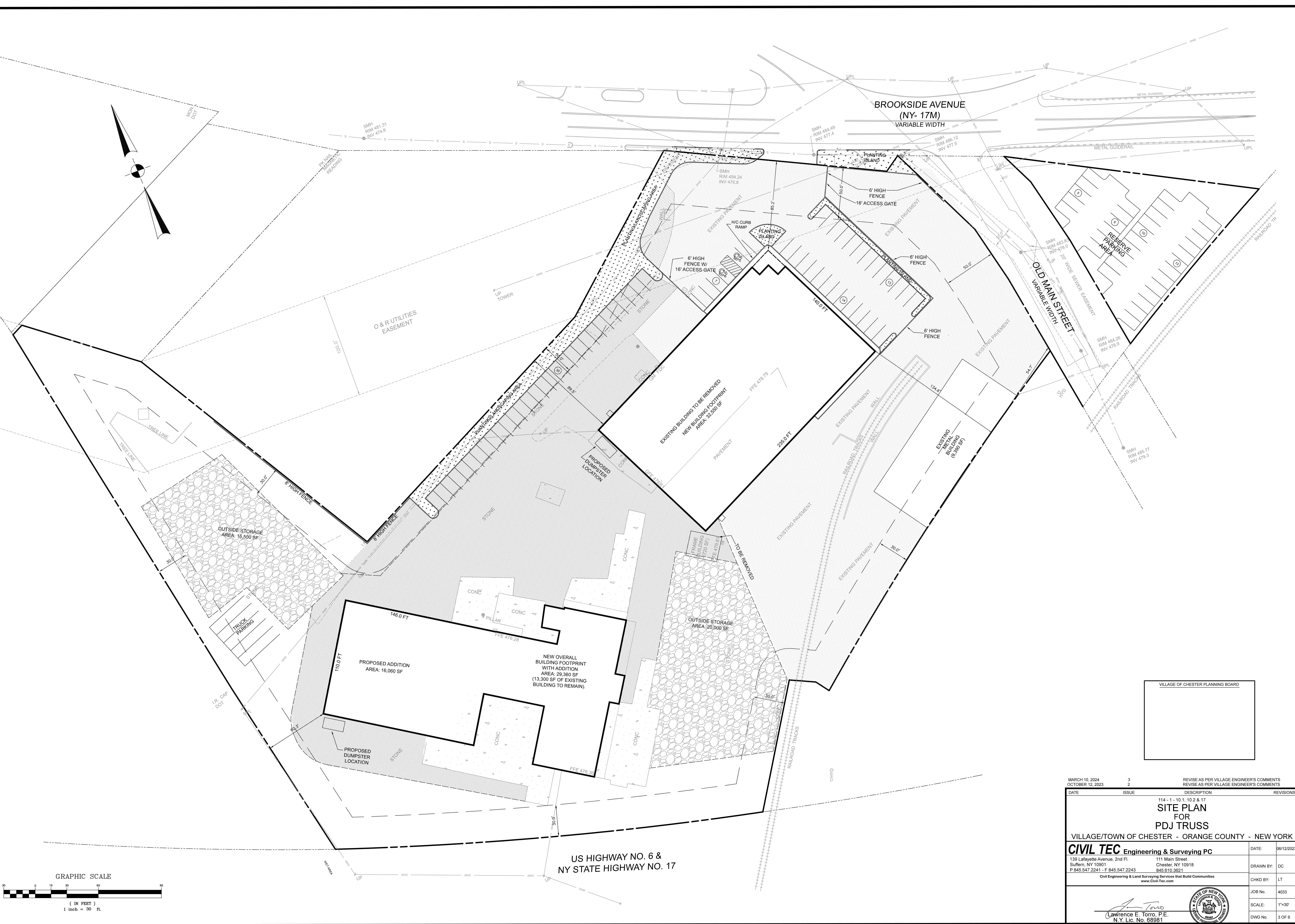
Lawrence E. Totto, P.E.  
N.Y. Lic. No. 68981



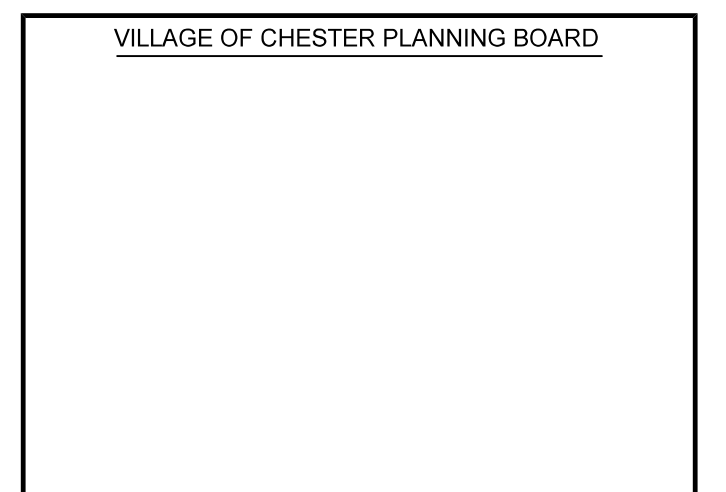
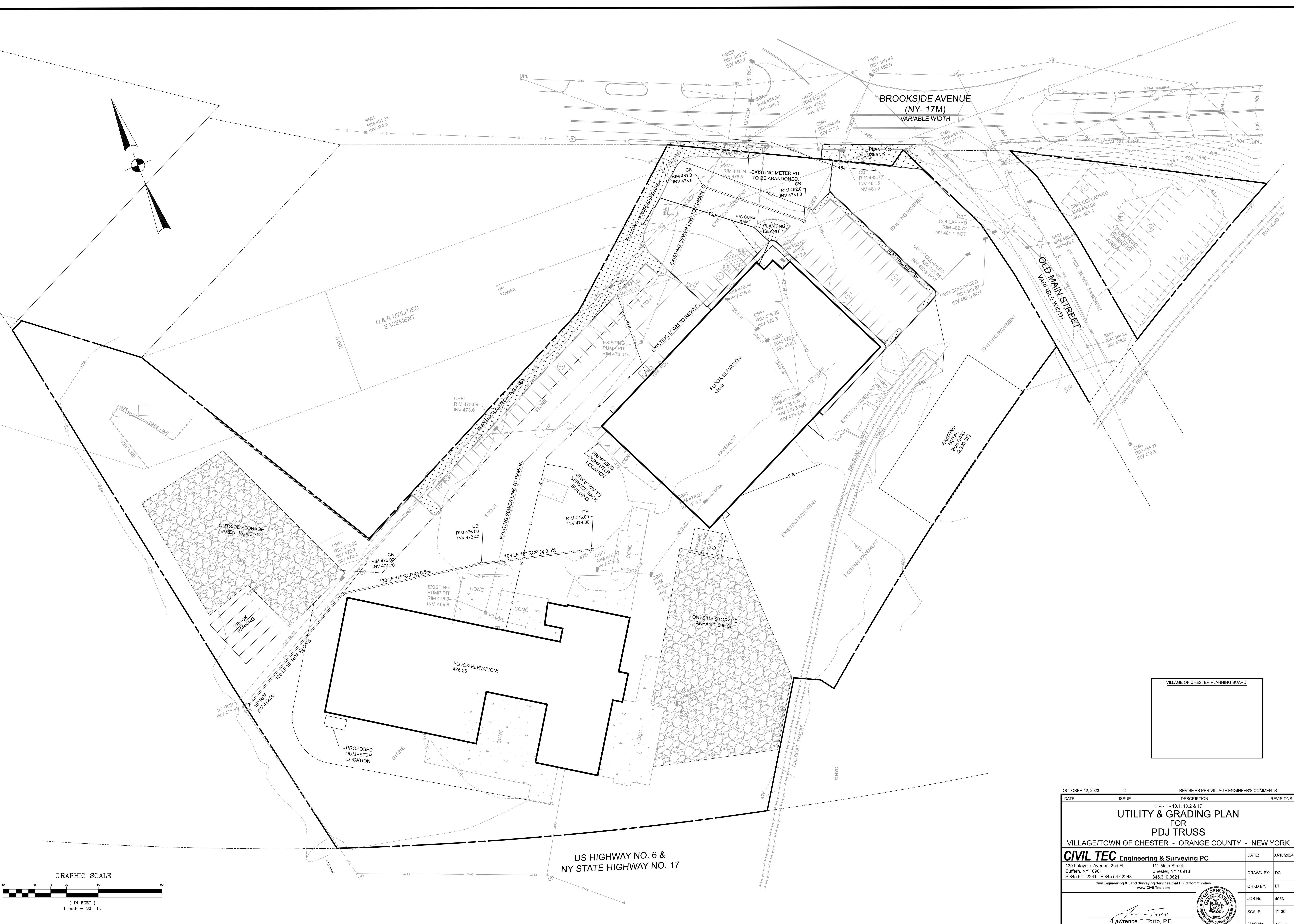
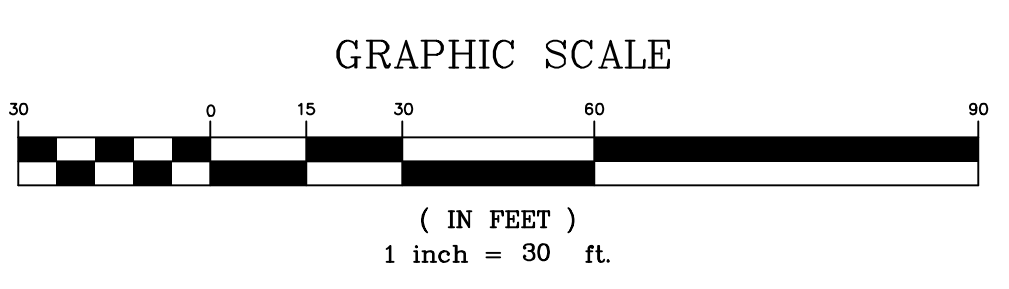
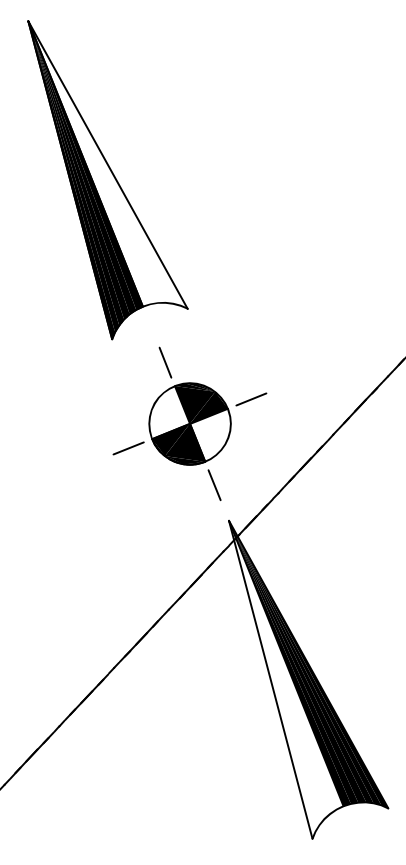


MARCH 10, 2024	3	REVISE AS PER VILLAGE ENGINEER'S COMMENTS	
OCTOBER 12, 2023	2	REVISE AS PER VILLAGE ENGINEER'S COMMENTS	
DATE	ISSUE	DESCRIPTION	REVISIONS
		114 - 1 - 10.1, 10.2 & 17	
<b>EXISTING CONDITIONS FOR PDJ TRUSS</b>			
VILLAGE/TOWN OF CHESTER - ORANGE COUNTY - NEW YORK			
<b>CIVIL TEC Engineering &amp; Surveying PC</b>			DATE: 06/12/2023
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10991 P 845.547.2241 - F 845.547.2243			DRAWN BY: DC
111 Main Street Chester, NY 10918 845.610.3621			CHKD BY: LT
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com			JOB No. 4033
 <b>STEPHEN P. DOLSON, P.L.S.</b> N.Y. Lic. No. 50554			SCALE: 1"=30'
			DWG No. 2 OF 6









OCTOBER 12, 2023		2		REVISE AS PER VILLAGE ENGINEER'S COMMENTS	
DATE	ISSUE	DESCRIPTION	REVISIONS		
114 - 1 - 10.1, 10.2 & 17					
<b>UTILITY &amp; GRADING PLAN</b>					
<b>FOR</b>					
<b>PDJ TRUSS</b>					
VILLAGE/TOWN OF CHESTER - ORANGE COUNTY - NEW YORK					
<b>CIVIL TEC Engineering &amp; Surveying PC</b>			DATE:	03/10/2024	
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901			DRAWN BY:	DC	
P 845.547.2241 - F 845.547.2243 www.Civil-Tec.com			CHKD BY:	LT	
Civil Engineering & Land Surveying Services that Build Communities			JOB No.:	4033	
Lawrence E. Torro, P.E. N.Y. Lic. No. 68981			SCALE:	1"=30'	
			DWG No.:	4 OF 6	

US HIGHWAY NO. 6 & NY STATE HIGHWAY NO. 17

BROOKSIDE AVENUE (NY- 17M) VARIABLE WIDTH

OLD MAN STREET VARIABLE WIDTH

OUTSIDE STORAGE AREA: 16,500 SF

OUTSIDE STORAGE AREA: 20,000 SF

FLOOR ELEVATION: 476.25

FLOOR ELEVATION: 480.0

O & R UTILITIES EASEMENT

TRUCK PARKING

EXISTING METAL BUILDING (9,380 SF)

PROPOSED DUMPSTER LOCATION

PROPOSED DUMPSTER LOCATION

EXISTING METER PIT TO BE ABANDONED

EXISTING PUMP PIT RIM 476.34 INV. 469.8

CB RIM 476.00 INV 474.00

CB RIM 475.00 INV 474.70

CBFI RIM 474.93 INV 472.7 INV 472.4

CB RIM 475.52 INV 474.2

CBFI RIM 475.33 INV 473.9

CBFI RIM 477.82 INV 477.4

CBFI RIM 478.26 INV 476.3

CBFI RIM 478.29 INV 476.1

CBFI RIM 478.26 INV 476.3

CBFI RIM 477.82 INV 477.4

CBFI RIM 478.26 INV 476.3

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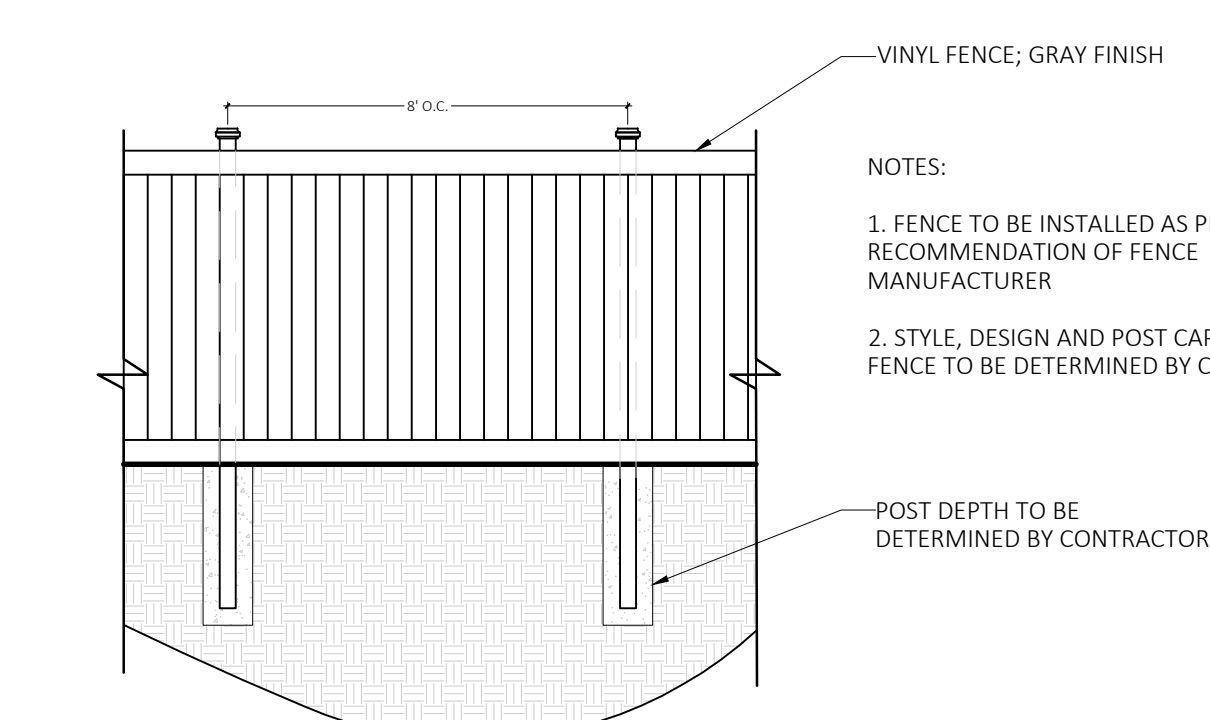
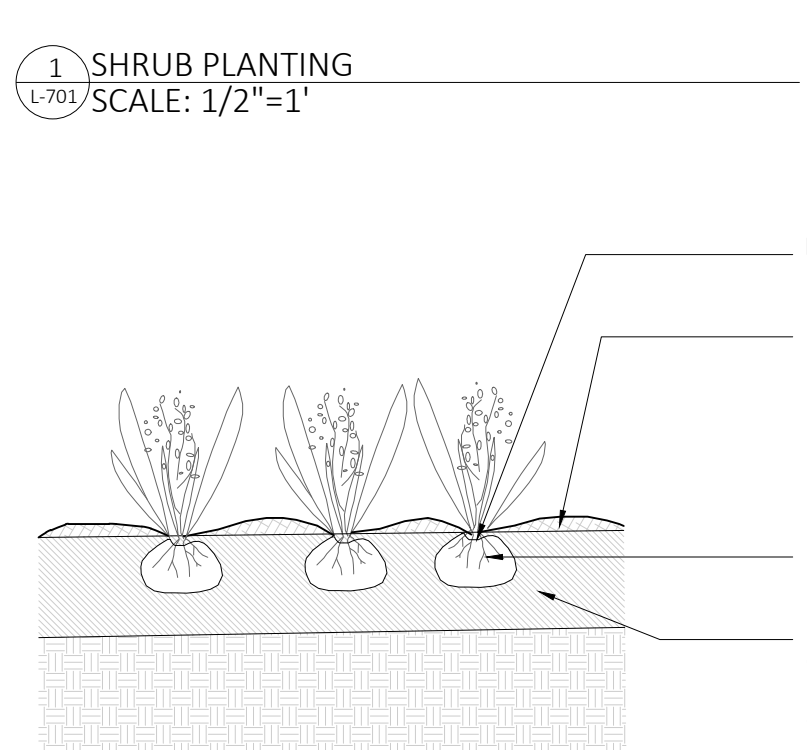
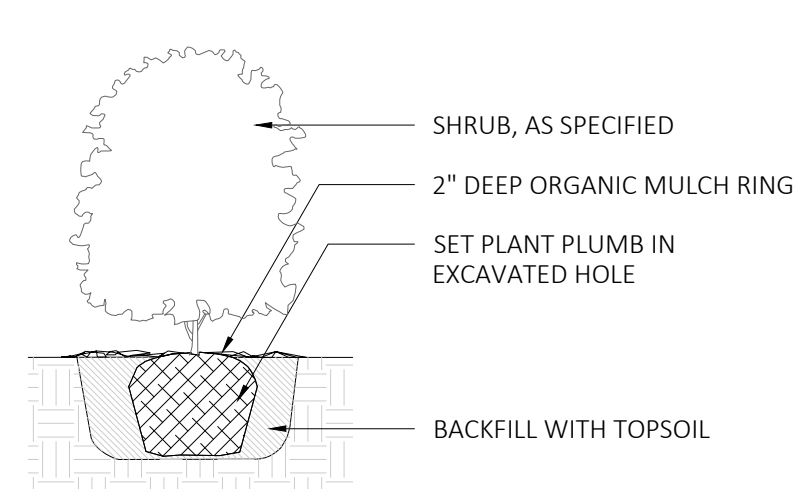
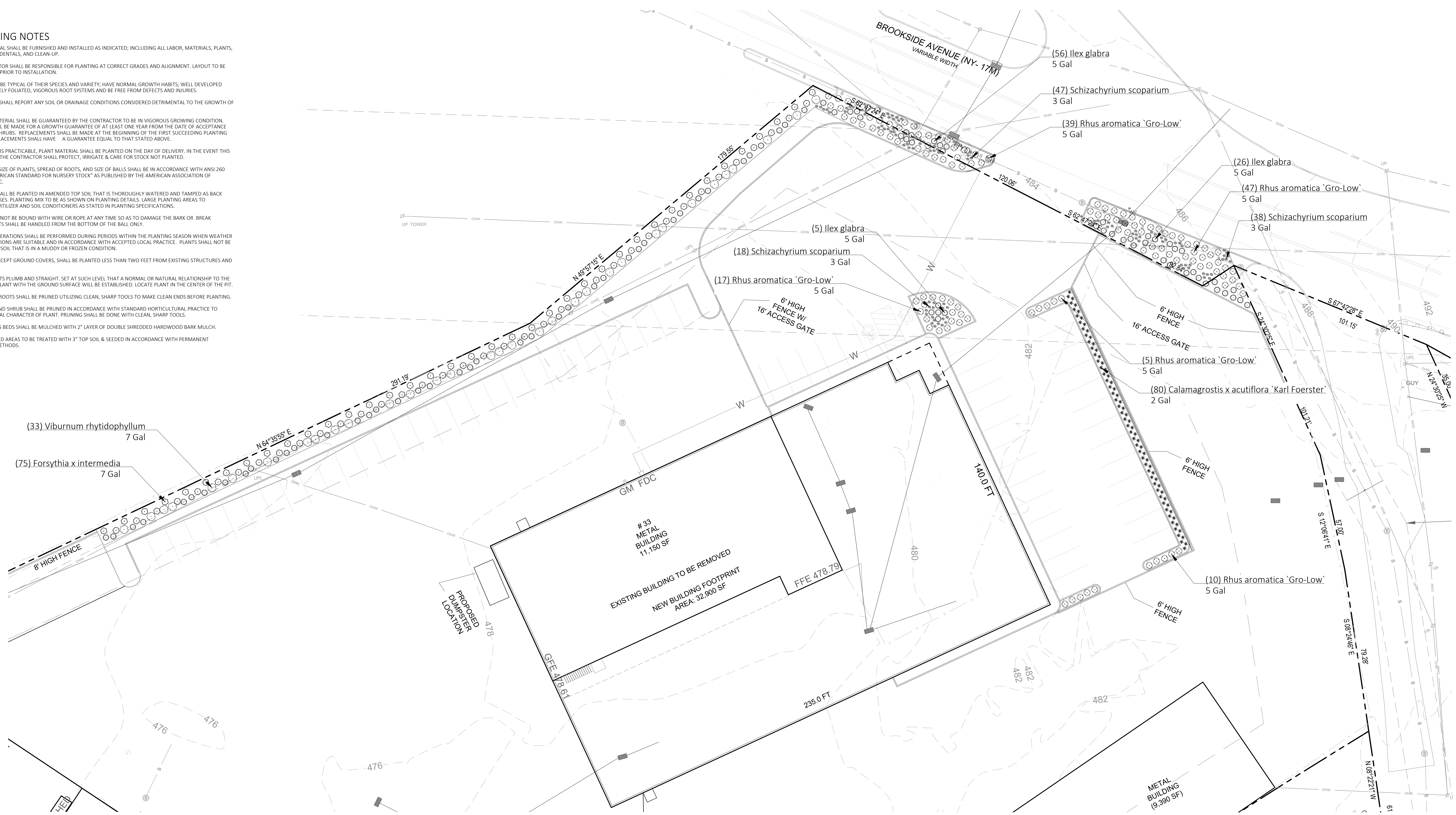
CBFI RIM 478.26 INV 476.3

CBFI RIM 478.26 INV 476.3



**PLANTING NOTES**

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LA PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. IN SO FAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT, IRRIGATE & CARE FOR STOCK NOT PLANTED.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1980) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
13. ALL INJURED ROOTS SHALL BE PRUNED UTILIZING CLEAN, SHARP TOOLS TO MAKE CLEAN ENDS BEFORE PLANTING.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
15. ALL PLANTING BEDS SHALL BE MULCHED WITH 2" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
16. ALL DISTURBED AREAS TO BE TREATED WITH 3" TOP SOIL & SEEDED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS.



- NOTES:
1. FOR B & B PLANT MATERIAL, REMOVE ALL TWINE AND ROLL BACK BURLAP FROM TOP 1/2 OF BALL. IF ANY MATERIALS USED TO BIND THE ROOTBALL ARE NON-BIODEGRADABLE, REMOVE COMPLETELY INCLUDING WIRE BASKET.
  2. FOR CONTAINER GROWN PLANT MATERIAL, REMOVE CONTAINER, TO HELP PREVENT LOOSENING OF SOIL AND SCARIFY BALL TO HELP PREVENT GIRDLING ROOTS.
  3. SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING, AND WATER AS NECESSARY UNTIL IRRIGATION INSTALLED.
  4. NO MULCH OR SOIL SHOULD BE PLACED AGAINST THE PLANT'S TRUNK.

**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>SHRUBS</b>				
○	75	Forsythia x intermedia	Border Forsythia	7 Gal
○	87	Ilex glabra	Inkberry Holly	5 Gal
○	118	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 Gal
○	33	Viburnum rhytidophyllum	Leatherleaf Viburnum	7 Gal
<b>GRASSES</b>				
*	80	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 Gal
*	103	Schizachyrium scoparium	Little Bluestem Grass	3 Gal

**PLANT IMAGES**



TO SCALE WHEN PLOTTED ON 30x42  
PROGRESS SET NOT FOR CONSTRUCTION

SURVEYOR:

**PDJ TRUSS**  
VILLAGE/TOWN OF CHESTER, NY, 10918

DATE: MARCH 4TH, 2024  
DRAWN BY: AVM  
JOB NO: 030324  
SCALE: 1"=20'  
FILENAME: 2024\_0304 PDJ Truss

REVISIONS:



**LANDSCAPE PLAN**

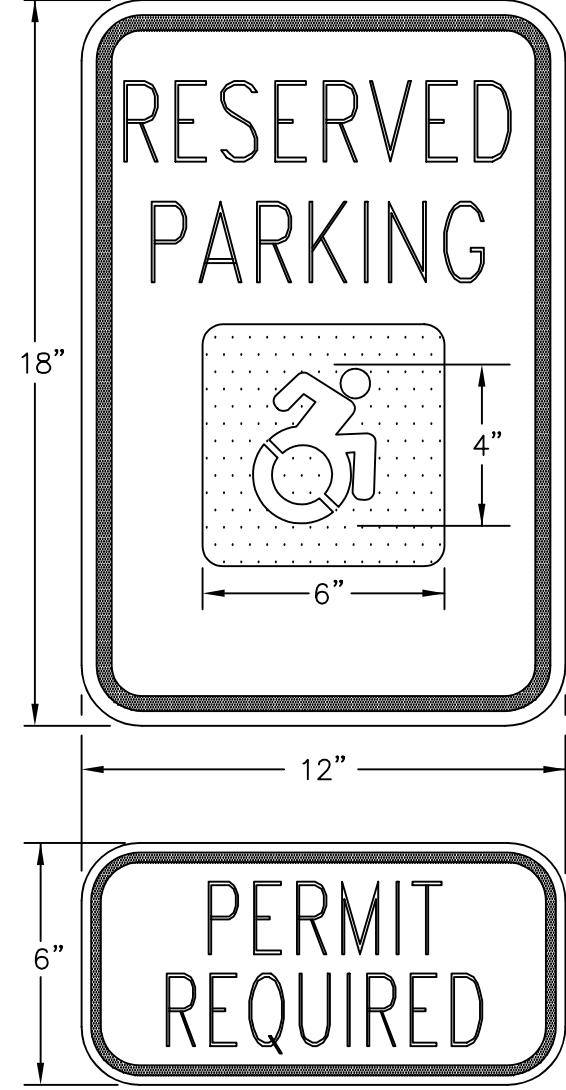
SHEET NO.

**5 of 6**

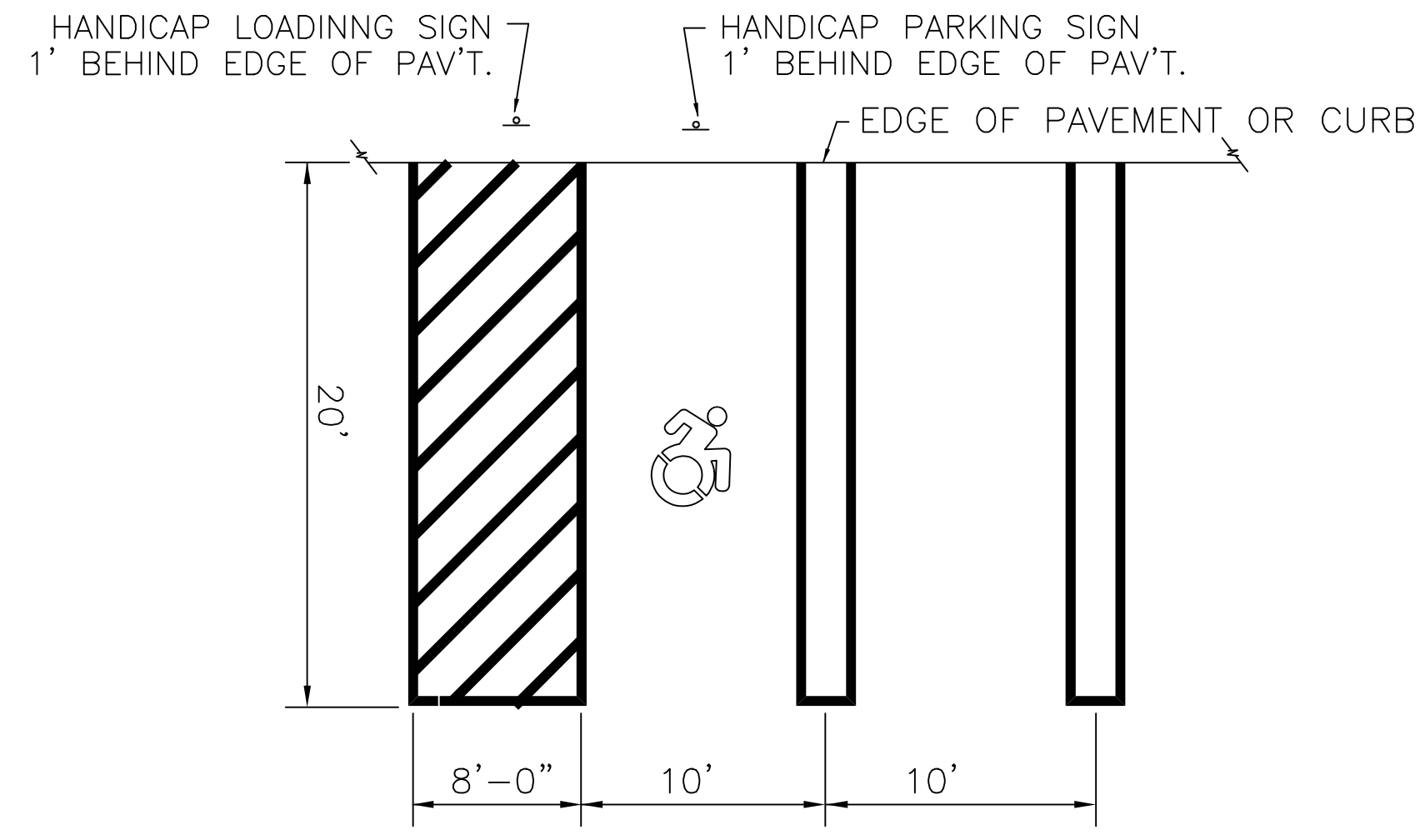




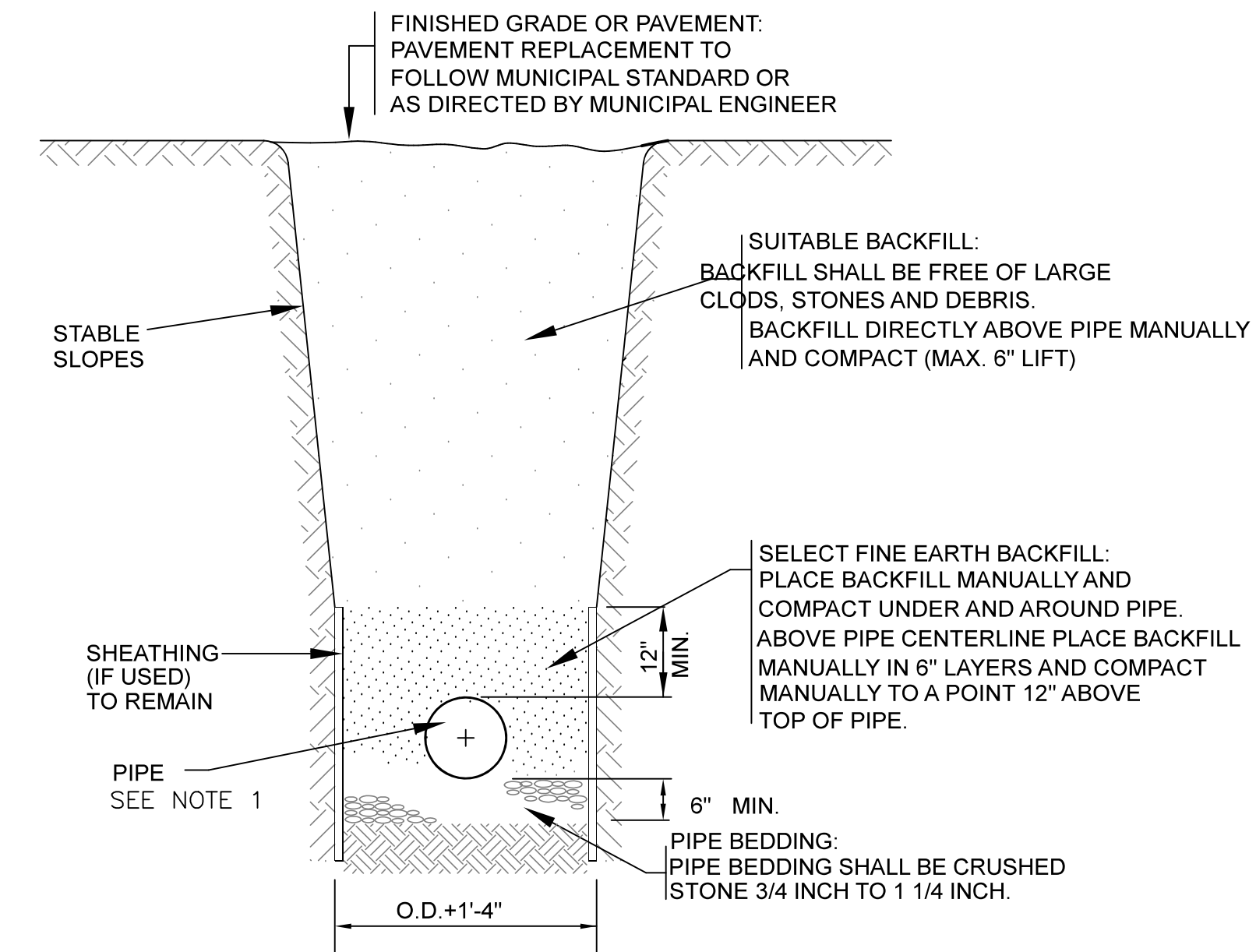
LETTERING, BORDER & SHADED AREAS-RED  
LETTERING ON LOWER PORTION OF SIGN TO BE  
CENTERED HORIZONTALLY WITHIN RED BORDER  
BACKGROUND-WHITE  
**HANDICAPPED LOADING ZONE**  
NOT TO SCALE



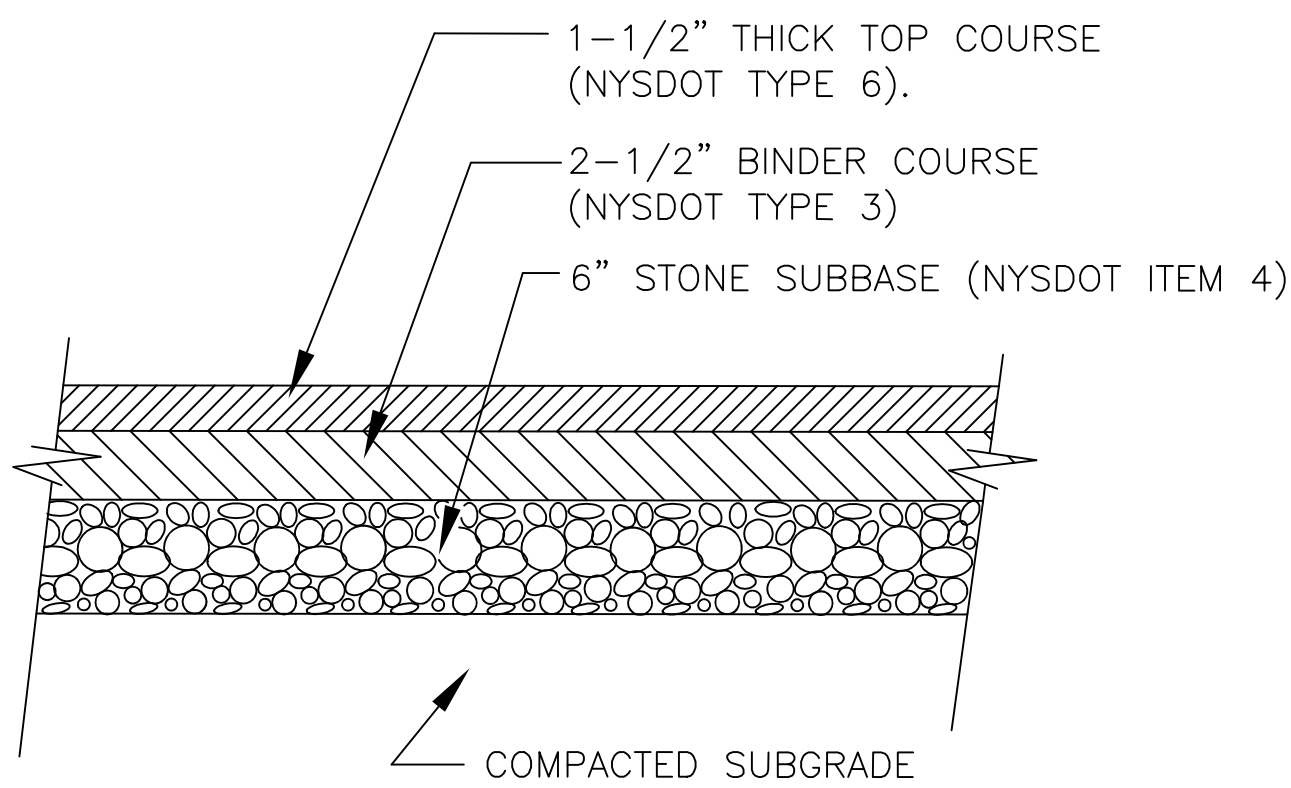
LETTERING AND BORDER - GREEN  
WHITE SYMBOL ON BLUE BACKGROUND  
BACKGROUND - WHITE  
**HANDICAPPED PARKING SIGN**  
NOT TO SCALE



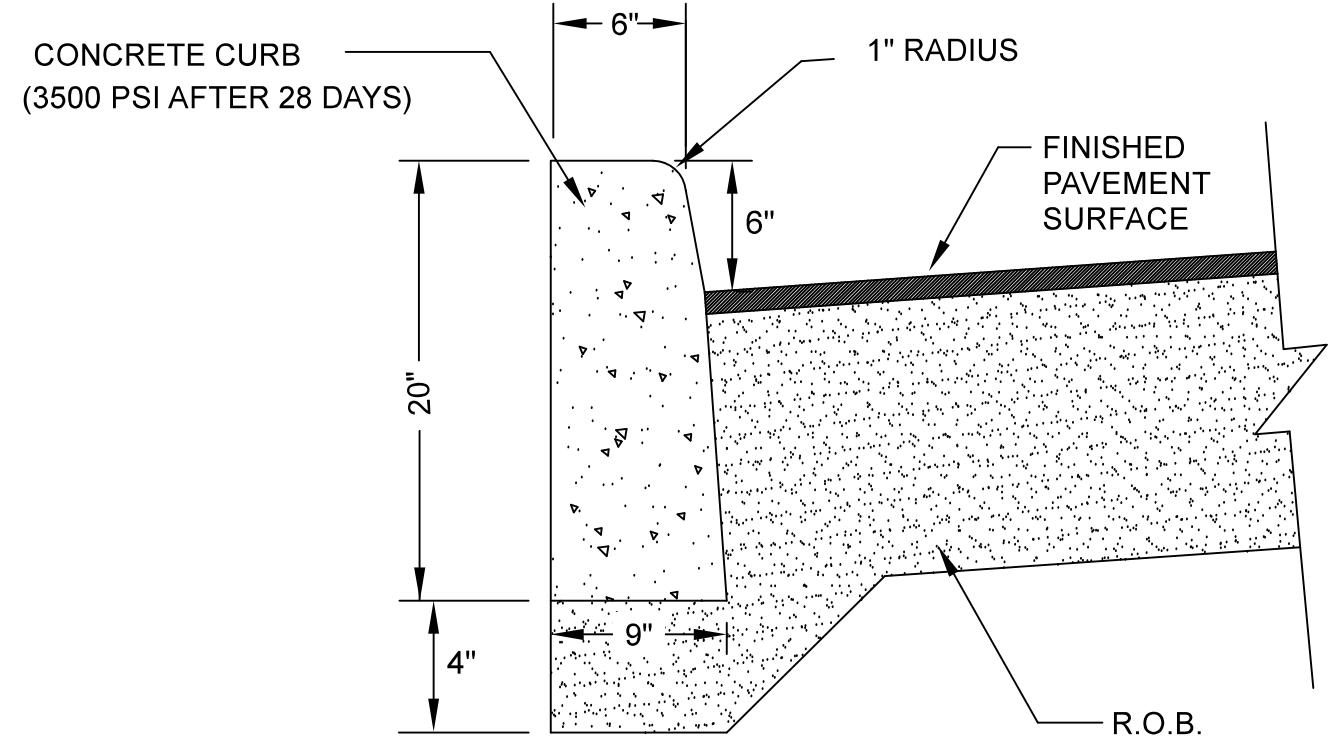
**HANDICAP PARKING STALL DIMENSIONS**  
N.T.S.



**TYPICAL TRENCH DETAIL (WATER MAIN)** N.T.S.  
1. ALL PIPE AND FITTINGS TO BE DUCTILE IRON, ACCEPTABLE TO THE VILLAGE OF CHESTER AND SHALL COMPLY WITH ACCEPTABLE STANDARDS AND SPECIFICATIONS.

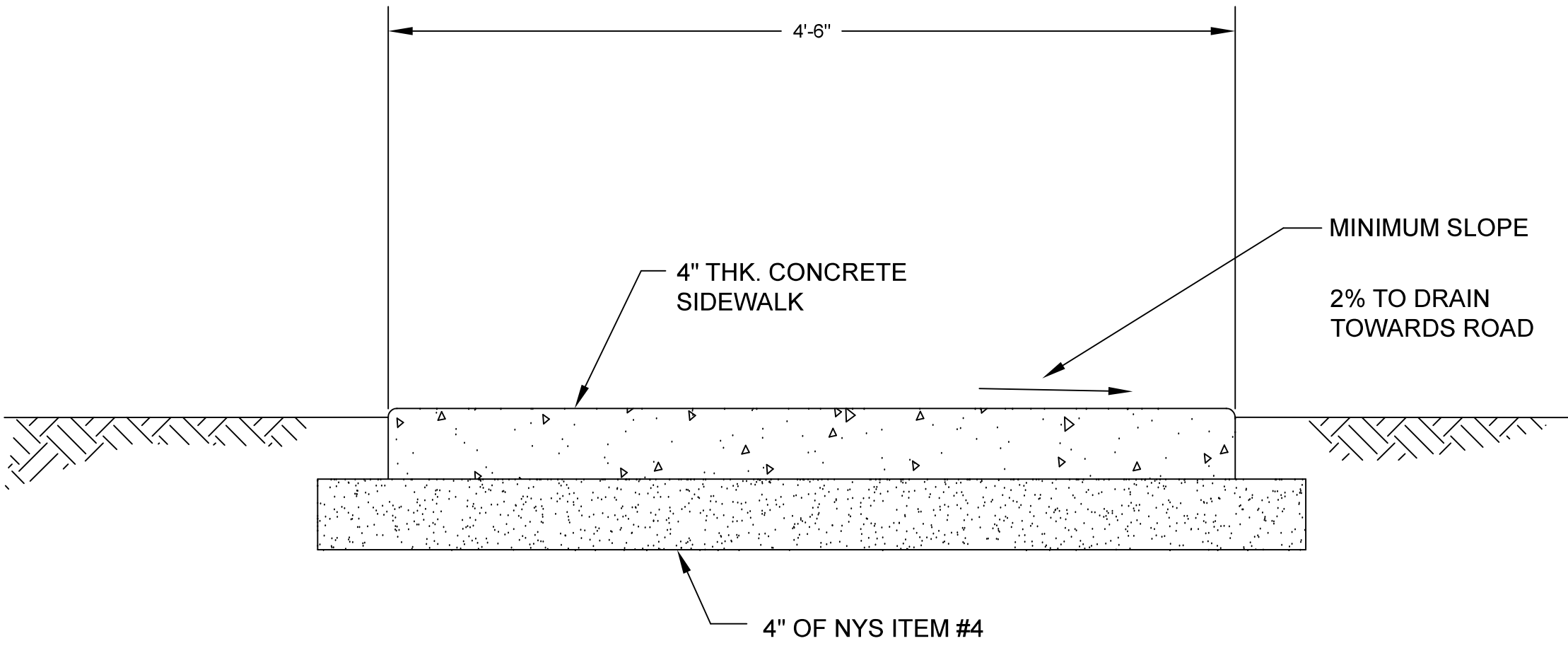


**PARKING PAVEMENT DETAIL**  
N.T.S.



**CONCRETE CURB**  
NOT TO SCALE

**STANDARD SIDEWALK DETAIL**  
NOT TO SCALE



- NOTES:
- EXPANSION JOINTS OF 1/8\"/>

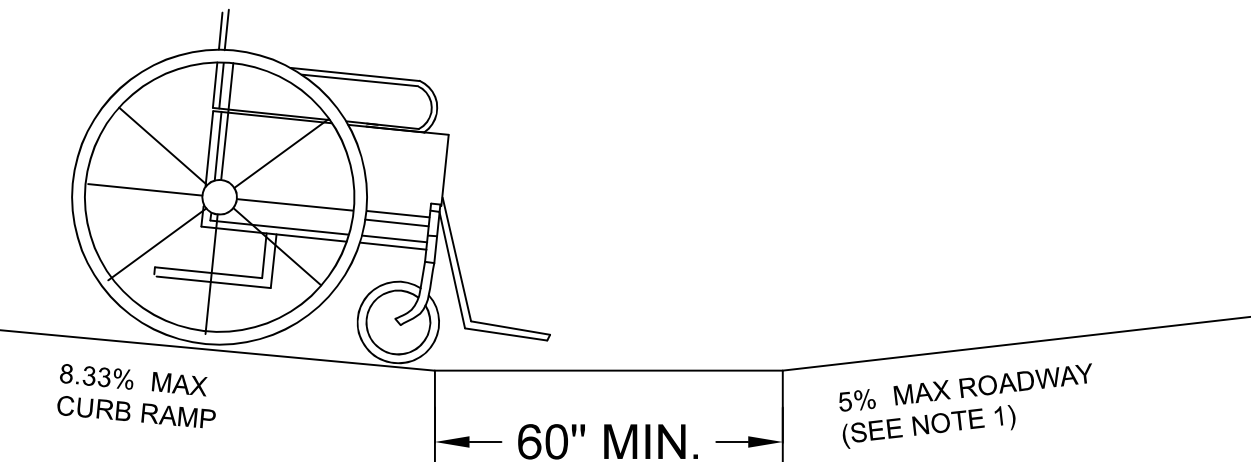
**STANDARD SIDEWALK DETAIL**  
NOT TO SCALE

**GENERAL NOTES:**

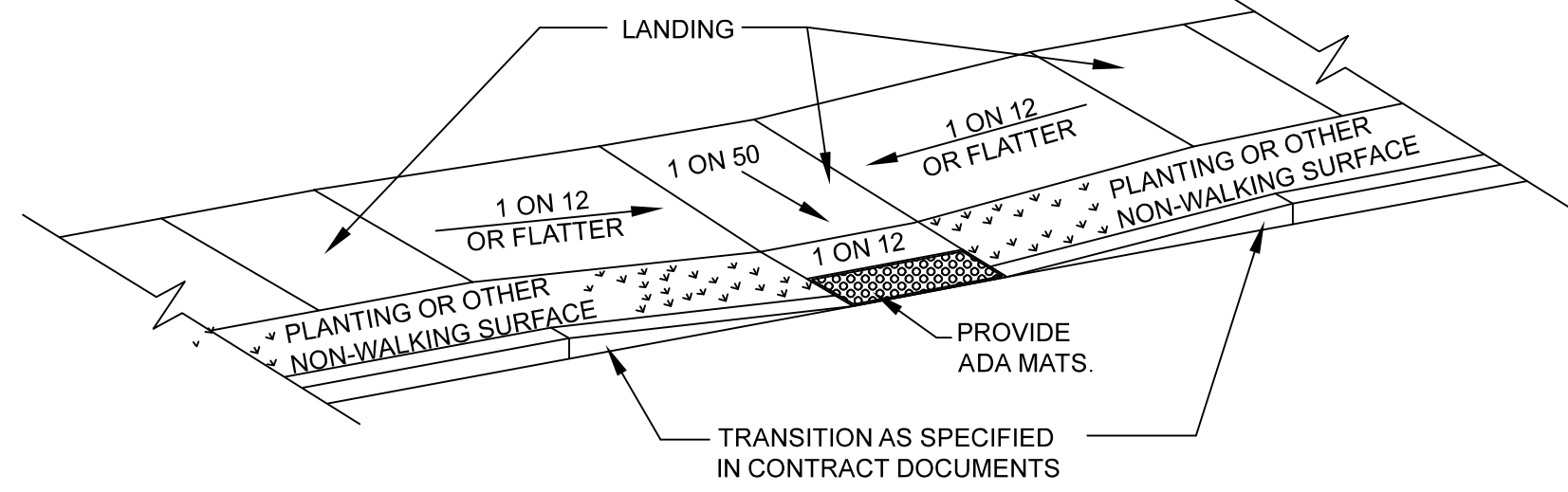
THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.

THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.

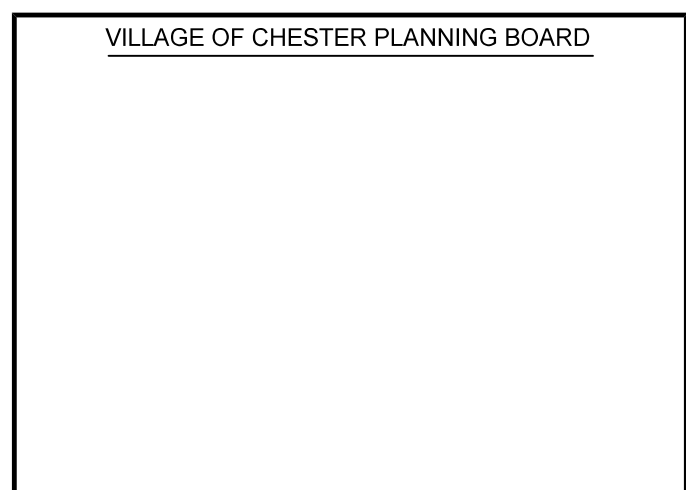
LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60\"/>



**COUNTER SLOPE CONDITIONS**  
NOT TO SCALE



**COMBINED PARALLEL/PERPENDICULAR CURB RAMP (TYPE 2A)**  
NOT TO SCALE



MARCH 10, 2024 OCTOBER 12, 2023	3 2	REVISE AS PER VILLAGE ENGINEER'S COMMENTS REVISE AS PER VILLAGE ENGINEER'S COMMENTS	
DATE	ISSUE	DESCRIPTION	REVISIONS
114-1-10.1, 10.2 & 17 <b>DETAILS FOR PDJ TRUSS</b>			
<b>VILLAGE/TOWN OF CHESTER - ORANGE COUNTY - NEW YORK</b>			
<b>CIVIL TEC Engineering &amp; Surveying PC</b>		DATE:	06/12/2023
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243	111 Main Street Chester, NY 10918 845.910.3621	DRAWN BY:	DC
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com		CHKD BY:	LT
		JOB No.	4033
Lawrence E. Torro, P.E. N.Y. Lic. No. 68981		SCALE:	1"=30'
		DWG No.	6 OF 6